



INVITATION FOR QUOTE

The Housing Authority of the City of Lakeland (also known as the Lakeland Housing Authority or LHA) acting for itself and/or for its various instrumentalities and affiliates will receive quotes for ADA Ramp Construction located at: 1542 North Hawkins Way, Lakeland, Florida 33805. All quotes must be delivered by 2:00 p.m., Eastern Time, on June 29, 2021 to: *The Receptionist, LHA Administrative Offices, Attention Lori Halula-Eyer: 430 Hartsell Avenue, Lakeland, FL 33815.*

Minority and Female Business Enterprises and Section 3 firms are encouraged to respond to this Invitation to Quote.

LAKELAND HOUSING AUTHORITY

INVITATION FOR QUOTE FOR RE:-ADA RAMP CONSTRUCTION 1542 North Hawkins Way Lakeland, Florida 33805

I. GENERAL CONDITIONS:

- A. Communications**--In order to maintain a fair and impartial competitive process, LHA shall avoid private communication concerning this procurement with prospective proposers during the entire procurement process. Please respect this policy and do not attempt to query LHA personnel regarding this Invitation For Quote.

Ex parte communication regarding this solicitation is prohibited between a potential or current proposer and any LHA Board of Commissioners member, LHA staff, or any other person serving as an evaluator during this procurement process. Respondents directly contacting any LHA Board of Commissioners member, LHA staff, or evaluators regarding this solicitation risk the elimination of their quotes from consideration. Email correspondence with **Lori Halula-Eyer**, LHA's Administrative Sr. Program Manager, does not constitute *ex parte* communication. Oral instructions or information concerning the specifications of this procurement given out by any LHA Board of Commissioners member, LHA employee, or agent to a prospective respondent shall not bind LHA.

A Pre-Quote conference will be held at the site:

**Friday, June 18, 2021 at 9:00 a.m., Eastern Time, at
1542 North Hawkins Way, Lakeland, Florida 33805.**

Although this is not a mandatory meeting, all potential respondent are *strongly* encouraged to attend this site visit. In the event that a respondent is unable to attend this site visit but has questions that he/she would like to have addressed at the site, the potential respondent may email questions to Procurement@lakelandhousing.org prior to **8:00a.m., Eastern Time on Tuesday, June 15, , 2021**. Receipt of request will be acknowledged. A response will be sent to all potential respondent who received this Invitation to Quote directly from LHA on or before **noon, Eastern Time, on Monday, June 21, 2021**. It is the potential respondent's responsibility to provide an accurate and viable email address and to monitor his/her email for any additional information related to this procurement.

B. SUBMISSION OF QUOTES--

- 1.1 A quote shall be transmitted by mail, hand-delivered in a *sealed* envelope addressed to:

**The Receptionist
ATT: Lori Halula-Eyer
re: ADA Ramp Construction
Lakeland Housing Authority
430 Hartsell Avenue
Lakeland, Florida 33815**

The outside of the envelope must indicate the name and address of the respondent submitting the quote as well as the title of the quote being submitted.

1.2 Any quote transmitted by facsimile, electronic mail, or not in compliance with the above instructions may not be considered. All quotes and accompanying material will become the property of LHA and will not be returned to the respondent.

C. Modifications—In its best interest, LHA reserves the right to modify this Invitation For Quotes. Modifications may include but are not limited to: increasing or deleting any items; awarding portions of this Invitation For Quotes to one or more respondents or make no award; waiving informalities and technicalities; and making awards consistent with LHA's policies and/or the laws governing the U.S. Department of Housing and Urban Development (HUD) and/or the State of Florida programs.

Any such modification or amendment will be made available via the email address provided by the potential respondent. It is the responsibility of the potential respondent to access any such modifications or amendments.

D. Validity--Quotes may be held by LHA for a period not to exceed thirty (30) calendar days from the date of opening for the purpose of reviewing them and investigating the qualifications of the respondent prior to awarding the work.

E. Withdrawals--No quote shall be withdrawn subsequent to the opening of quotes without the consent of LHA. LHA reserves the right to accept or reject any and all quotes or any part of any quote and to waive any informalities or irregularities in the quote or in the procurement process.

F. Disputes--In case of any doubt or differences of opinions as to the items or service to be furnished hereunder or the interpretation of the provisions of the Invitation For Quotes, the decision of LHA shall be final and binding upon all parties.

G. Conflict of Interest--No LHA Board member, officer, employee of LHA or member of the City of Lakeland City Commission shall, during his/her tenure or for one (1) year thereafter, have any interest, direct or indirect, in this contract or the proceeds thereof.

II. SCOPE OF REQUIRED SERVICES

- A. The successful respondent shall furnish all necessary labor, materials, tools, equipment, fuel, transportation, and supervision necessary to provide the following goods and services indicated on the Quote Form attached to this package.

It is the potential respondent's responsibility to visit and familiarize itself with the site located at: 1542 North Hawkins Way, Lakeland, Florida 33805.

The potential respondent is responsible for making accurate measurements and accurately determining the quantity of materials, labor, time, and equipment needed to successfully complete the work. Such inspections may be made during normal business hours, Monday through Friday. If assistance is required accessing the site, please contact **Lori Halula-Eyer, Sr. Program Manager of Procurement** at 863.687.2911 x1011.

1.0. SCOPE OF WORK/GENERAL CONDITIONS:

The successful respondent in a professional manner will provide the following as well as any other tasks and materials usual and customary to this type of work:

- Pour in place concrete slab over existing concrete patio as described in the attached construction documents permit set.
- Clean work area upon completion of project.
- Load and haul off job related debris.
- Warranty shall be extended for all construction components, equipment, and installation for a minimum of 1 year from the date of substantial completion.
- Provide a written 1-year workmanship warranty.

III. OTHER CONDITIONS

The following and other conditions will apply to the successful respondent who is awarded the work resulting from this Invitation For Quote.

- A. **Insurance**—If awarded the work, the successful respondent (to the satisfaction of LHA) must:
- Provide LHA with a current certificate(s) of proof of general liability insurance and automotive liability insurance with LHA named as an *additional insured*. Each of these insurances must contain a minimum of \$1,000,000 coverage per occurrence.
 - Provide written documentation of current Workers Compensation insurance for its entire staff employed on the site of this project.
 - Maintain the above insurances in force during the term of the contract.

- B. Permits, Fee and Licenses**--The successful respondent shall secure, maintain, and pay all permits, fees, and licenses necessary for the proper execution and completion of work. Copies must be provided to LHA prior to commencement of the work.
- C. Subcontracting**--LHA encourages the participation of Section 3, resident, minority- and women-owned businesses. (A copy of the form to document a Section 3 qualified business is attached to this procurement package.) The successful respondent will make every effort to hire Section 3 qualified employees to assist in work performed under the project. (A copy of the form to qualify Section 3 employees is attached to procurement package.) LHA has agreed to HUD established goals in Section 3, resident, minority- and women- owned business participation in its contracts. Information provided by the successful respondent assists LHA in monitoring its progress toward the realization of its goal.
- D. Resident Participation**--LHA encourages the hiring of residents by the successful respondent for any employment opportunities available as a result of its contracts. The successful respondent will make every effort to hire residents and to post job opportunities in the Renaissance at Washington Ridge Administration Office located on site. The successful respondent will be asked to report the hiring of any residents to assist LHA in:
- monitoring resident participation in the performance of work under its contract.
 - monitoring progress toward achieving established goals,
 - the development of further resident participation programs.
- E. Non-Discrimination and Section 3**--The successful respondent must ensure that employees and applicants for employment are not discriminated against because of their race, color, religion, disability, sex, or national origin. LHA encourages participation by Lakeland area business owned and operated by minorities and women and those that meet the definition of a "Section 3 business."
- F. Security and Safety**--The successful respondent shall protect and secure all materials, vehicles, and equipment, and shall assume full responsibility for loss, theft, vandalism, and any other damage for the duration of the project. LHA will not assume responsibility for vandalism, theft, fire, and/or personal injury claims arising from or relating to the work to be performed. The successful respondent must exercise extreme caution and safety at all times to protect the work area and the residents and to eliminate accidents occurring at the work site.
- G. Review and Inspection**--LHA may at its sole discretion and from time-to-time review and inspect the services being provided including but not be limited to site observations and reviewing the quantity and types of chemicals and equipment used.

- H. **Payment**--Payment shall be made within thirty (30) calendar days after submission of an invoice and close-out documentation acceptable to LHA for work that is deemed satisfactory by LHA. Payment for materials delivered to the site may be approved before the completion of project.
- I. **Term**--LHA anticipates that the services to be provided under the contract will begin within one week after the quote submittal deadline. The work must be completed within fourteen calendar days of a written "notice to proceed."

NOTE: Work is prohibited on Sundays in LHA residential areas. For the purposes of this project, Sunday counts as a calendar day.

- J. **Required Forms**—The respondent will only submit his/her quote on the Quote Form provided with this Invitation For Quote. Quotes submitted in another format may be rejected as non-responsive. At a minimum, the successful respondent awarded the work under this Invitation For Quote will comply with the following HUD Forms, as applicable: HUD's 5369-C and 5370-EZ.
- K. **Federal Labor Standards Provisions**—Due to the nature of the funding to be used by LHA for this project, the certain Federal requirements apply. Attached to this Invitation For Quote is information on the **Federal Labor Standards Provisions** which include the **Davis-Bacon Act**, the **Copeland Act**, and **Contract Works Hours and Safety Standards Act**. Also attached is a copy of the current Davis Bacon **wage determination** sheet for residential building repair in Polk County: FL20200082 01/01/2021.

NOTE: Failure to provide *any* of the above information may render the quote *non-responsive* and remove the quote from consideration.

Submitted By: _____
(Printed/typed name)

Title: _____

Signature: _____

Business Name: _____

Business Address: _____

Business Phone Number: _____

Email address: _____

ATTACHED FORMS

NON-COLLUSION CERTIFICATION

RE: ADA RAMP CONSTRUCTION

The undersigned states that he/she is fully authorized by the entity indicated below to certify that:

- That this proposal is made without collusion or fraud with any other person, firm, or corporation making a proposal for the same purpose.
- That no officer or employee or person whose salary is paid, in whole or in part, from the Housing Authority of the City of Lakeland is, shall be, or will become interested, directly or indirectly, surety or otherwise: in this proposal; in the performance of the contract; in the supplies, materials, equipment, and services or labor to which they relate; or in any portion of the profits thereof.

By signing this form, the undersigned affirms that said proposal is, in all respects, fair and without collusion or fraud.

Name of Entity: _____

Authorized Signature/Date: _____

Printed Name of Signer: _____

Title of Signer: _____

Corporate Seal, *if appropriate*

Note: Failure to complete and submit this statement as presented may result in the proposal being rejected.

PUBLIC ENTITY CRIMES STATEMENT

RE: ADA RAMP CONSTRUCTION

By signing this form, the Respondent certifies that it is not currently debarred, suspended, or excluded from or for participation in Federal assistance programs in accordance with: Executive Order 12549, Debarment and Suspension, 45 CFR 1183.35; HUD regulations, 24 CFR 24; or by other federal agencies.

The Respondent also certifies that it is in compliance with Section 287.133, Florida Statutes, as it relates to Public Entity crimes. More specifically, the Respondent certifies that it acknowledges, and it is in compliance with the following:

A person or an affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not submit a bid, proposal, or reply on a contract to provide any goods or services to a public entity; may not submit a bid, proposal, or reply on a contract with a public entity for the construction or repair of a public building or public work; may not submit bids, proposals, or replies on leases of real property to a public entity; may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity; and may not transact business with any public entity in excess of the threshold amount provided in Section 287.017, F.S. for CATEGORY TWO for a period of 36 months following the date of being placed on the convicted vendor list.

Name of Entity: _____

Authorized Signature/Date: _____

Printed Name of Signer: _____

Title of Signer: _____

Corporate Seal, *if appropriate*

Note: Failure to complete and submit this statement as presented may result in the proposal being rejected.

ADA RAMP DESIGN FOR: 1542 NORTH HAWKINS WAY EXISTING RESIDENCE PERMIT SET

DECEMBER 29, 2020 PERMIT SET

**JEREL MCCANTS
ARCHITECTURE, INC.**
JMA, INC.
1726 EAST 7TH AVENUE
SUITE 11
TAMPA, FL 33605
PH: (813) 812-9120
WWW.JMCCANTS.COM
responsive architecture and planning

Registered Architect:
Jerel McCants, AIA, LEED Green Associate
Florida Business License #: A26002030

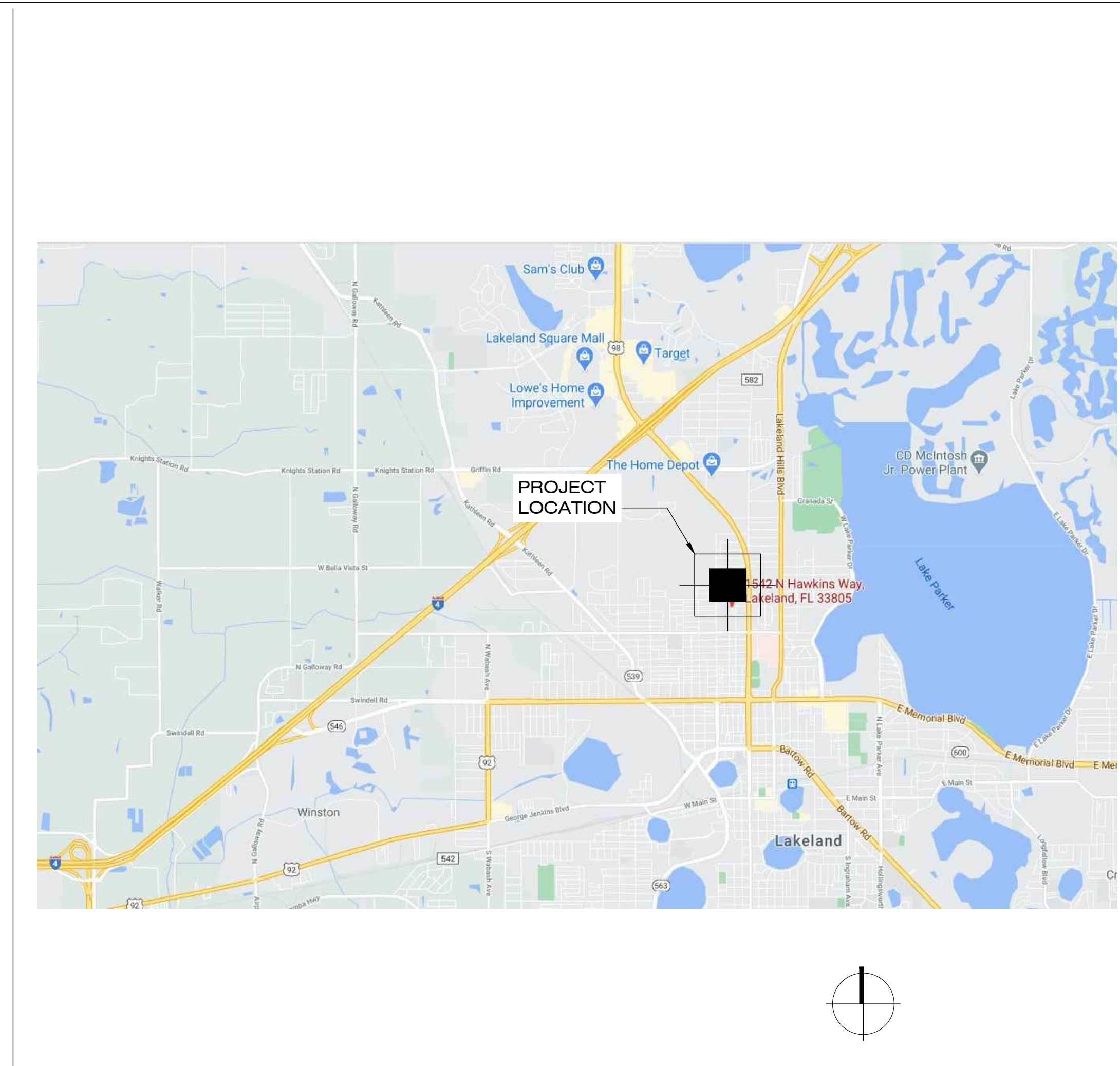
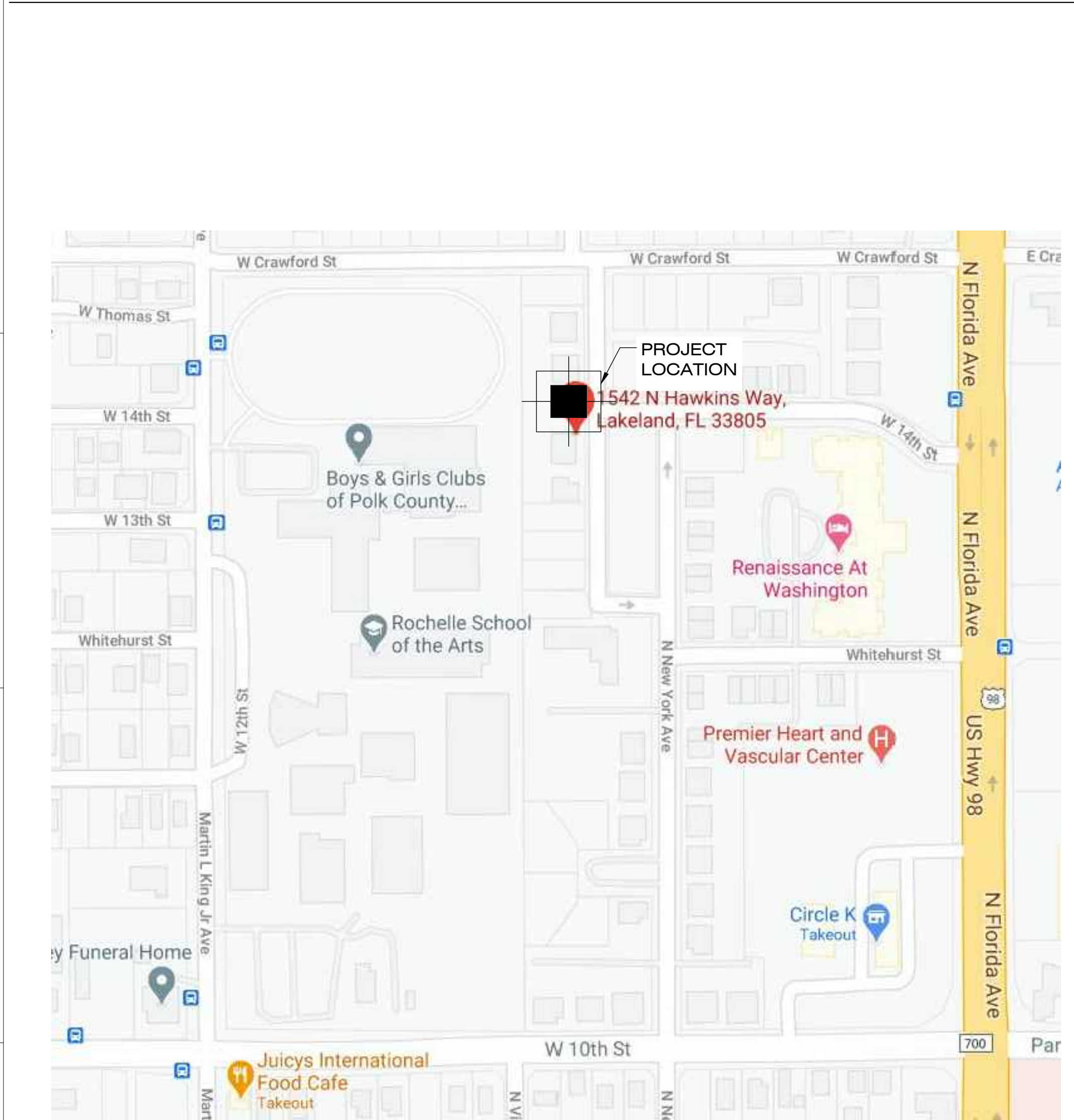
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SITE LOCATION

PROJECT LOCATION

ARCHITECT

PROJECT



JMA, INC.
1726 East 7th Avenue, Suite 11
Tampa, Florida 33605
Contact: 813.431.4575

JEREL@JMCCANTS.COM
WWW.JMCCANTS.COM

**ADA RAMP FOR
EXISTING RESIDENCE**

1542 NORTH HAWKINS WAY
LAKELAND, FL 33805

M.E.P. ENGINEERS

DRAWINGS
**CONSTRUCTION
DOCUMENTS**
Permit Set

CONSULTANT

REVISION NO./DATE



CONTRACTOR

CIVIL

DESCRIPTION
COVER SHEET

PROJECT ID: 20-064
OWN BY: SKL
CHK BY: JLM
DATE ISSUED: 12.29.20

SHEET NO:
A-0.0.0

**GENERAL NOTES
APPLY TO ALL SHEETS**

A0.01 CONTRACTOR TO SUBMIT ALL MSDS SHEETS TO THE DISTRICT SAFETY OFFICE FOR REVIEW AND APPROVAL PRIOR TO PERFORMING ANY WORK.

A0.02 ANY & ALL GOVERNING LOCAL LABOR LAWS, REGULATIONS & REQUIREMENTS AND THOSE SET AS BUILDING REQUIREMENTS SHALL BE OBSERVED & FOLLOWED AS THEY RELATE TO THIS PROJECT.

A0.03 CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING PERMITS AND CERTIFICATE OF OCCUPANCY PERMIT.

A0.04 MATERIALS, DIMENSIONS, AND OTHER CONDITIONS NOT OTHERWISE INDICATED IN THESE DRAWINGS SHALL BE ASSUMED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED AND MORE FULLY DEFINED ELSEWHERE IN THE DRAWINGS. CONTRACTOR TO VERIFY W/ ARCHITECT IN WRITING.

A0.05 THE EXTENT OF WORK SHALL BE LIMITED TO THAT INDICATED IN THE CONTRACT DOCUMENTS. NO ADDITIONAL WORK SHALL BE DONE WITHOUT WRITTEN APPROVAL OF OWNER. ANY ADDITIONAL WORK PERFORMED WITHOUT PRIOR WRITTEN APPROVAL BY OWNER SHALL BE AT THE CONTRACTOR'S EXPENSE.

A0.06 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING OF EXISTING CONDITIONS PRIOR TO START OF WORK & DURING CONSTRUCTION AS NECESSARY TO ASSURE ADHERENCE TO CONSTRUCTION DRAWINGS. BY ENTERING INTO A CONSTRUCTION CONTRACT FOR THIS WORK, GC SHALL INDICATE HIS FAMILIARITY WITH THE SITE/FIELD CONDITIONS.

A0.07 THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS, MATERIALS, & EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY, AND DUST BARRIERS BETWEEN CONSTRUCTION AREAS AND OCCUPIED AND PUBLIC AREAS SHALL BE MAINTAINED BY CONTRACTOR.

A0.08 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BUILDING CORRIDORS CLEAR OF PROJECT MATERIALS AND EQUIPMENT.

A0.09 NO MODIFICATIONS/REVISIONS/CHANGES SHALL BE UNDERTAKEN UNLESS SPECIFICALLY SO INSTRUCTED & APPROVED BY OWNER.

A0.10 CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION.

A0.11 THE INTENT OF THE CONTRACT DOCUMENTS IS TO EXCLUDE ALL MATERIALS WHICH CONTAIN KNOWN HAZARDOUS SUBSTANCES. THESE INCLUDE MATERIALS CONTAINING ASBESTOS, POLYCHLORINATED BIPHENYL(PCB), OR ANY OTHER KNOWN SUBSTANCES DETERMINED TO BE A HEALTH HAZARD BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) AND OTHER RECOGNIZED AGENCIES. IN STUDYING THE CONTRACT DOCUMENTS, AND AT ANY TIME DURING EXECUTION OF THE WORK, THE CONTRACTOR SHALL AT ONCE REPORT TO THE ARCHITECT ANY MATERIALS CONTAINING HAZARDOUS SUBSTANCES THAT HE/SHE MAY DISCOVER. DO NOT PROCEED WITH INSTALLATION OF HAZARDOUS MATERIALS.

A0.12 CONTRACTOR SHALL VERIFY PRESENCE OF HAZARDOUS MATERIALS WITH OWNER. ARCHITECT AND ITS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO, ASBESTOS, POLYCHLORINATED BIPHENYL(PCB) OR OTHER TOXIC SUBSTANCES.

A0.13 WHERE PRODUCTS ARE SPECIFIED BY REFERENCE STANDARD OR IN DESCRIPTIVE MANNER WITHOUT MANUFACTURER'S NAME, MODEL NUMBER OR TRADE NAME, CONTRACTOR SHALL SELECT MATERIALS MEETING REQUIREMENTS WHICH DO NOT CONTAIN KNOWN HAZARDOUS SUBSTANCES IN ANY FORM AND SUBMIT TO ARCHITECT FOR APPROVAL.

A0.14 INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT THAT THE SPECIFICATIONS HEREIN, WHERE MORE STRINGENT, SHALL BE COMPLIED WITH.

A0.15 IN MAKING REQUESTS FOR SUBSTITUTION, CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THAT MATERIALS REQUESTED FOR SUBSTITUTION ARE FREE OF KNOWN HAZARDOUS SUBSTANCES IN ANY FORM.

A0.16 WARRANTY SHALL BE EXTENDED FOR ALL CONSTRUCTION COMPONENTS, EQUIPMENT AND INSTALLATIONS INCLUDED IN THIS CONTRACT FOR A MINIMUM OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

A0.17 GC SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS/DETAILS AS SHOWN AND ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP WHICH APPEAR WITHIN A PERIOD OF ONE (1) YEAR.

A0.18 SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT IN TRIPLICATE FOR REVIEW. SHOP DRAWINGS ENHANCE THESE SPECIFICATIONS. APPROVAL OF SHOP DRAWINGS SHALL NOT RELEASE CONTRACTOR FROM RESPONSIBILITY FOR THE WORK AS SPECIFIED.

A0.19 THESE DOCUMENTS INDICATE MATERIALS AND METHODS OF CONSTRUCTION TO ESTABLISH STANDARDS OF QUALITY AND/OR PERFORMANCE. OTHER MATERIALS AND/OR METHODS WILL BE CONSIDERED BY THE ARCHITECT FOR ACCEPTANCE PROVIDED THAT THEY DO NOT AFFECT THE VISIBLE APPEARANCE. MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT IN WRITING PRIOR TO ORDERING AND/OR FABRICATION.

A0.20 ALL REQUESTS FOR SUBSTITUTIONS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE, OR LOWER PRICE WITH CREDIT TO THE OWNER IS PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.

A0.21 CONTRACTOR SHALL SUBMIT TO THE ARCHITECT, IMMEDIATELY FOLLOWING DIRECTIVE TO PROCEED WITH WORK, CONFIRMATION WITH DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT AND ANY LONG LEAD TIME ITEMS.

A0.22 DAMAGE: CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF ANY ACCIDENTAL DAMAGE HE INFLECTS UPON THE EXISTING WORK WHICH WILL REMAIN. IF FOR ANY REASON DAMAGE TO EXISTING WORK OR UTILITIES IS CONSIDERED TO BE UNAVOIDABLE, SUBMIT WRITTEN NOTIFICATION OF THIS BEFORE SIGNING THE CONTRACT. IN THE ABSENCE OF SUCH NOTIFICATION, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DAMAGE AND THE COSTS OF SATISFACTORILY REPAIRING OR REPLACING DAMAGED WORK.

A0.23 FINAL CLEANING AT COMPLETION SHALL INCLUDE DUSTING OF ALL FINISHED SURFACES, VACUUMING, REMOVAL OF SPOTS, STAINS, LABELS, FINGERPRINTS, SPILLS, AND CLEANING OF ALL INTERIOR GLASS.

A/C	AIR CONDITIONER	GC	GENERAL CONTRACTOR	PT	PAINT	
ADJ	ADJACENT			POLYISO	POLYISO-CYANURATE	
ADMIN	ADMINISTRATION	GSF	GROSS SQUARE FOOTAGE	PVC	POLYVINYL CHLORIDE	
AFF	ABOVE FINISH FLOOR				POUNDS PER SQUARE INCH PRESERVATIVE TREATED (WOOD)	
A/H	AIR HANDLER	GWB	GYPSPUM WALL BOARD	PSI	QUATITY	
ALT	ALTERNATE			PT-P.T.	RAIN CLEAN OUT PLUG	
ALUM	ALUMINUM	GYP BD	GYPSPUM BOARD		RAIN WATER LEADER	
&	AND	HDW	HARDWARE		REFRIGERATOR REFRIGERATOR REINFORCEMENT REQUIRED	
APPROX	APPROXIMATE	HVAC	HEATING, VENTILATING, AIR CONDITIONING	QTY	REVISION/REVISED	
A.R.	AS REQUIRED			R.C.O.	ROUGH OPENING ROOM	
ARCH	ARCHITECTURAL				R.D.	ROOF DRAIN
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERING	HT	HEIGHT		R.M.	SANITARY
		HW	HOSE BIB		R.O.	SCHEDULE
AVG	AVERAGE	HHW	HOT WATER HEATER	RWL	RM	SCREEN
AWI	AMERICAN WOODWORK INSTITUTE	INCL	INCLUDED	REF	R.D.	SECRETARY SQUARE
		((I.D.))	INDICATES	REFRIG	R.D.	FOOTAGE
		DETAIL		REINFOR.	SAN	SIMILAR
BLDG	BUILDING	INT	INTERIOR	REQ	SCHD	SLAB ON GRADE SPECIFICATIONS
BOT	BOTTOM	JAN	JANITOR	REV	SCN	SQUARE
CPT	CARPET	JUNC	JUNCTION	REV	SEC	STAINLESS STEEL
CAB	CABINET	LAB	LABORATORY	R.O.	STD	STANDARD STORAGE
C.I.P.	CAST IN PLACE	LAM	LAMINATED	RM	STOR	SW
CL	CENTERLINE	LAV	LAVATORY	R.D.	SW	TELEVISION TO BE DETERMINED
CLG	CEILING	LIC	LICENSE	R.M.	TV	TONGUE AND GROOVE
CLGHT	CEILING HEIGHT	LN. CLT.	LINEN CLOSET	T.O.	TBD	TOP OF TYPICAL
CO	CLEAN OUT U (DRAINAGE)	M.O.	MAXIMUM OPENING	TYP		UNLESS NOTED OTHERWISE
		MAX	MAXIMUM	UNO		VALUE ENGINEER
CLR	CLEAR	MECH	MECHANICAL	VE		VINYL COMPOSITION TILE
CONC	CONCRETE	MEZZ	MEZZANINE	VCT		VERIFY IN FIELD
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER		V.L.F.	VENTILATION VENT THROUGH ROOF
		MNF	MANUFACTURER'S FINISH		V.T.R.	VERTICAL VINYL WALLCOVERING
CONF	CONFERENCE			SIM		VESTIBULE WITH WALLCOVERING WOOD
CONT	CONTINUOUS			SOG		WEST WATER CLOSET WORKING POINT WEATHER PROTECTION WEIGHT WELDED WIRE FABRIC
C.J.	CONTROL JOINTS	MGR	MANAGER	SQC		
CORR	CORRIDOR	M.PH	MILES PER HOUR	SS		
DEMO	DEMOLISH (TION)	MISC	MISCELLANEOUS	STD		
DIAG	DIAGONAL	MIN	MINIMUM	STOR		
DIA	DIAMETER	M.R.	MOISTURE RESISTANT	TV		
DIM	DIMENSION	NGVD	NATIONAL GEODETIC VERTICAL DATUM	TBD		
DN	DOWN			T.G.		
DS	DOWN SPOUT	N.S & F.S.	NEAR SIDE AND FAR SIDE			
DR	DOOR			T.O.		
DTL/DET	DETAIL			TYP		
DWG	DRAWING	N	NORTH	UNO		
ELEC.	ELECTRICAL	N/A	NOT APPLICABLE			
EL	ELEVATION	NIC	NOT IN CONTRACT			
ELEV	ELEVATOR	NTS	NOT TO SCALE			
EQ	EQUAL	NOM	NOMINAL			
EQUIP	EQUIPMENT	NO.	NUMBER			
EXIST	EXISTING	O..B.	OIL RUBBED BRONZE			
ECF	EXPOSED CONCRETE FINISH	OC	ON CENTER			
		OPNG	OPENING			
F.O.	FACE OF	OPPOSITE	OPPOSITE			
FEMA	FEDERAL EMERGENCY MANAGEMENT	OSB	ORIENTED STRAND BOARD			
		OV.F.D.	OVERFLOW			
FT	FEET	OV.F.S.	OVERFLOW			
FIN	FINISH					
FE	FIRE	PL	PLASTER			
		PLAM	PLASTIC LAMINATE			
F.((I.D.))	FLEX-I-DRAIN	PLYWD	PLYWOOD			
FL	FLOOR					
FD	FLOOR DRAIN					
FURN	FURNITURE					
GA	GAUGE					
GALV	GALVANIZED					

	ELEVATION INDICATOR: ELEV.NUMBER - SHEET NUMBER	NAME	ROOM TAG
	SECTION INDICATOR: DRAWING NUMBER SHEET NUMBER	370	CONTOUR LINE ELEVATION NOTED ON HIGH SIDE
	ENLARGED PLAN/DETAIL: DRAWING NUMBER SHEET NUMBER	6' x 7.2'	EXISTING SPOT ELEVATION FROM NGVD
		TB-1	NEW SPOT ELEVATION FROM NGVD
	ELEVATION HEIGHT INDICATOR: HEIGHT DESCRIPTION	B	TEST BORING
	ALIGN ELEMENTS		COLUMN OR GRID LINE
	WINDOW TYPE SYMBOL	A1.1	HOSE BIB
	REVISION NUMBER		
	KEY NOTE		

APPLICABLE CODES	
FLORIDA BUILDING CODE (FBC), (2017) 6TH EDITION FLORIDA ACCESSIBILITY CODE (2017) FLORIDA PLUMBING CODE (2017) FLORIDA MECHANICAL CODE (2017) FLORIDA FUEL-GAS CODE (2017) FLORIDA EXISTING BUILDING CODE (2017) FLORIDA ENERGY CONSERVATION CODE (2017) FLORIDA TEST PROTOCOLS CODE (2017) NATIONAL ELECTRICAL CODE (NEC) (2014)	
PROJECT ADDRESS:	
1542 NORTH HAWKINS WAY LAKELAND, FL 33805	
PRODUCT APPROVAL	
NOTE: ALL EXTERIOR PRODUCTS SHALL BE TESTED AND APPROVED BY THE STATE OF FLORIDA AND HAVE REGISTERED PRODUCT APPROVAL CODE. THE CONTRACTOR SHALL SUBMIT ALL PROPER GEORGIA APPROVAL DOCUMENTATION WITH THE SHOP DRAWINGS / SUBMITTALS FOR REVIEW AND COMMENT.	
PROJECT SCOPE	
ADA RAMP DESIGN FOR AN EXISTING RESIDENCE OVER AN EXISTING CONCRETE PATIO .	
OCCUPANCY:	
TYPE OF CONSTRUCTION:	
FIRE PROTECTION SYSTEM:	
CONSTRUCTION: RAMP	POUR IN PLACE CONCRETE SLAB AND W/ 6X6, W1.4/W1.4 W.W.F.
TOTAL AREA:	102 S.F.

SHEET NO.	SHEET TITLE	ORIGINAL ISSUE DATE	REVISION NO.	REVISION ISSUE DATE
ARCHITECTURAL				
A-0.0.0	COVER SHEET	12.29.20		
A-0.0.1	INDEX	12.29.20		
A-1.0.0	OVERALL PROPOSED ADA RAMP PLAN,ELEVATION AND SECTIONS	12.29.20		

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH 2017 FLORIDA BUILDING CODE, 6TH EDITION, COMMERCIAL PER THE DATE OF THESE DOCUMENTS.

12 /29/ 2020

JEREL MCCANTS, AIA AR94378

JEREL MCCANTS ARCHITECTURE, INC.

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responsive architecture and planning

Registered Architect:
Jerel McCants, AIA, LEED Green Associate
Florida Business License #: AZ6002030

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PROJECT

ADA RAMP FOR EXISTING RESIDENCE

1542 NORTH HAWKINS WAY
LAKELAND, FL 33805

DRAWINGS

CONSTRUCTION DOCUMENTS
Permit Set

ISSUE RECORD

REVISION NO./DATE

DESCRIPTION

INDEX AND NOTES

PROJECT ID: 20-064

DWN BY: SKL

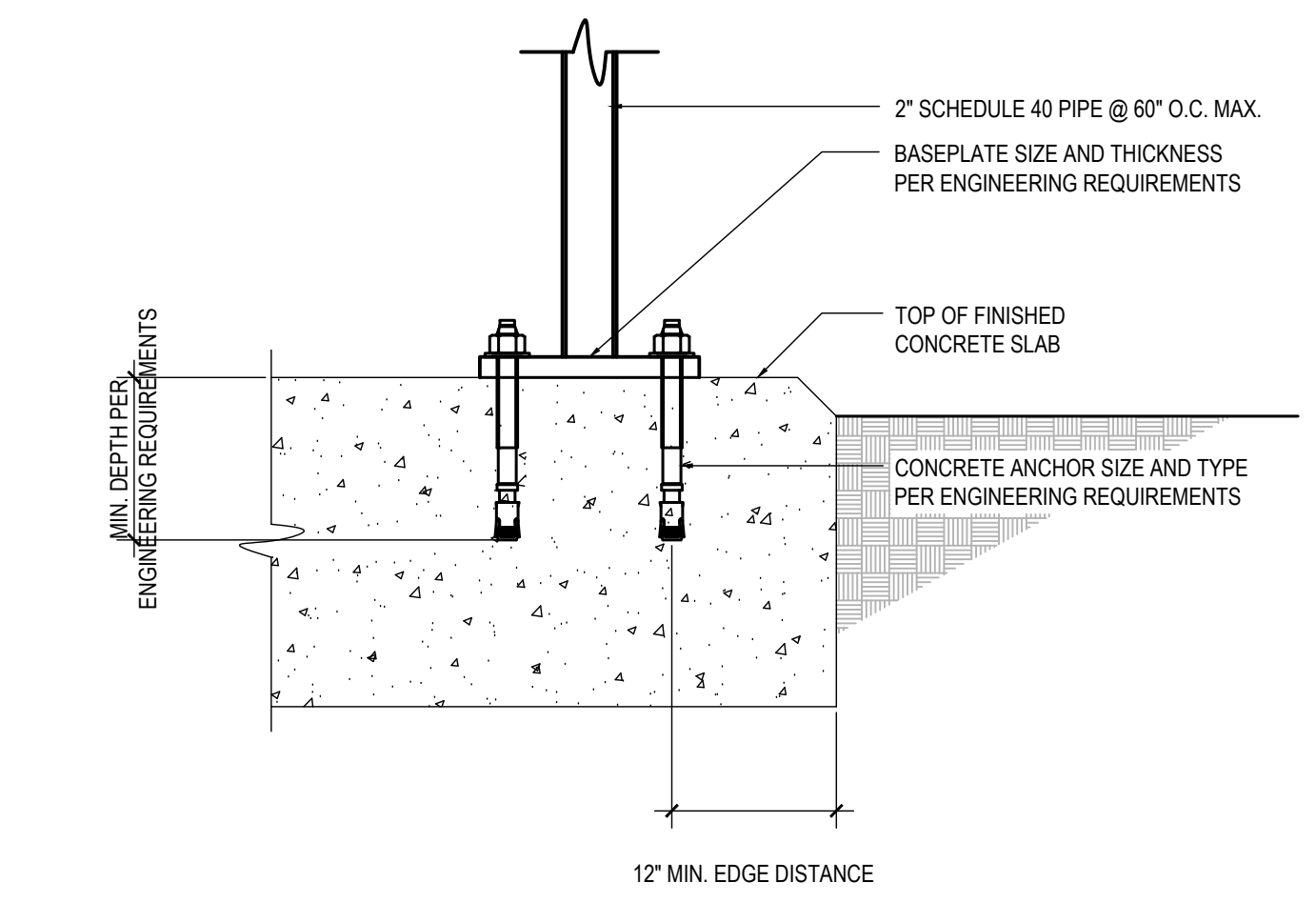
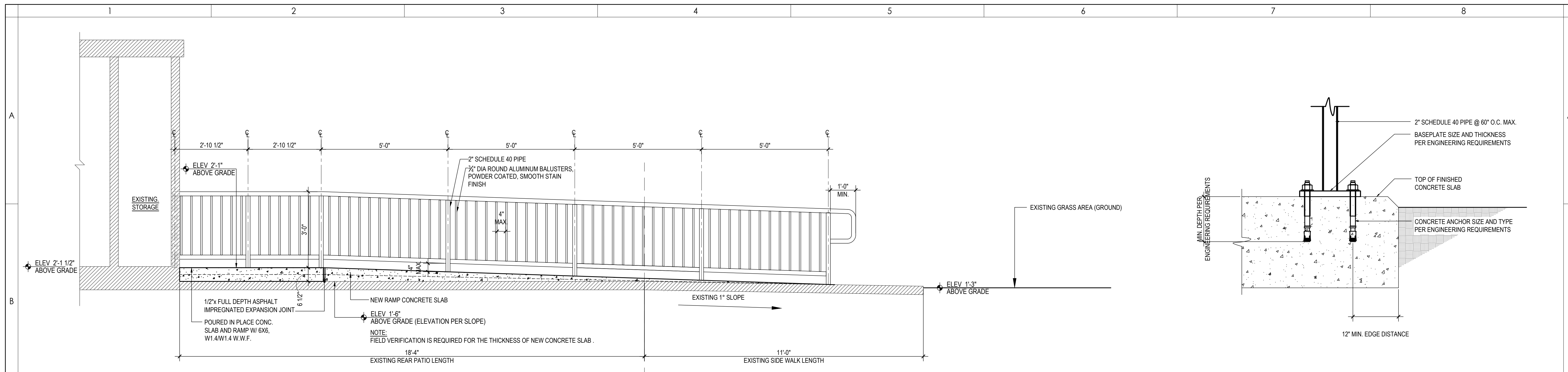
CHK BY: JLM

DATE ISSUED: 12.29.20

SHEET NO:

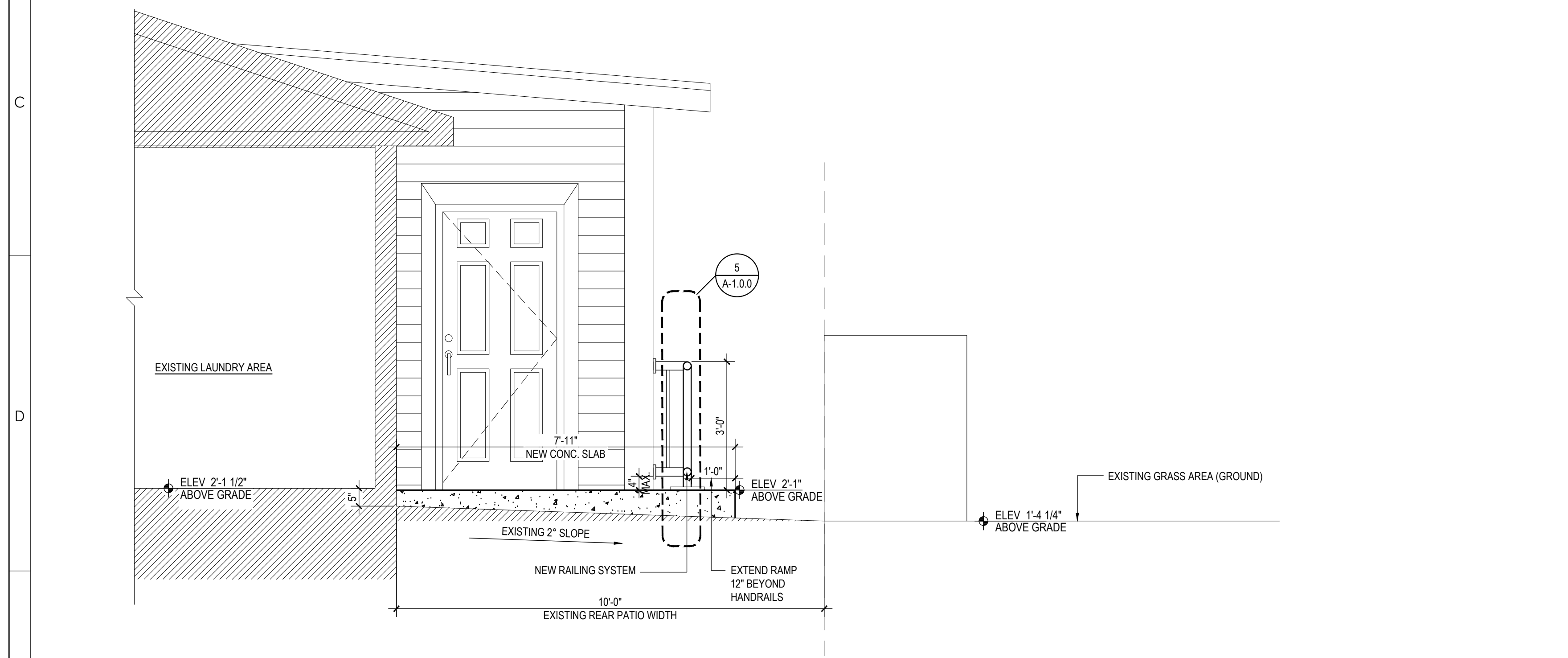
A-0.0.1

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4 ADA RAMP OVERALL SECTION
SCALE: 1/2" = 1'-0"

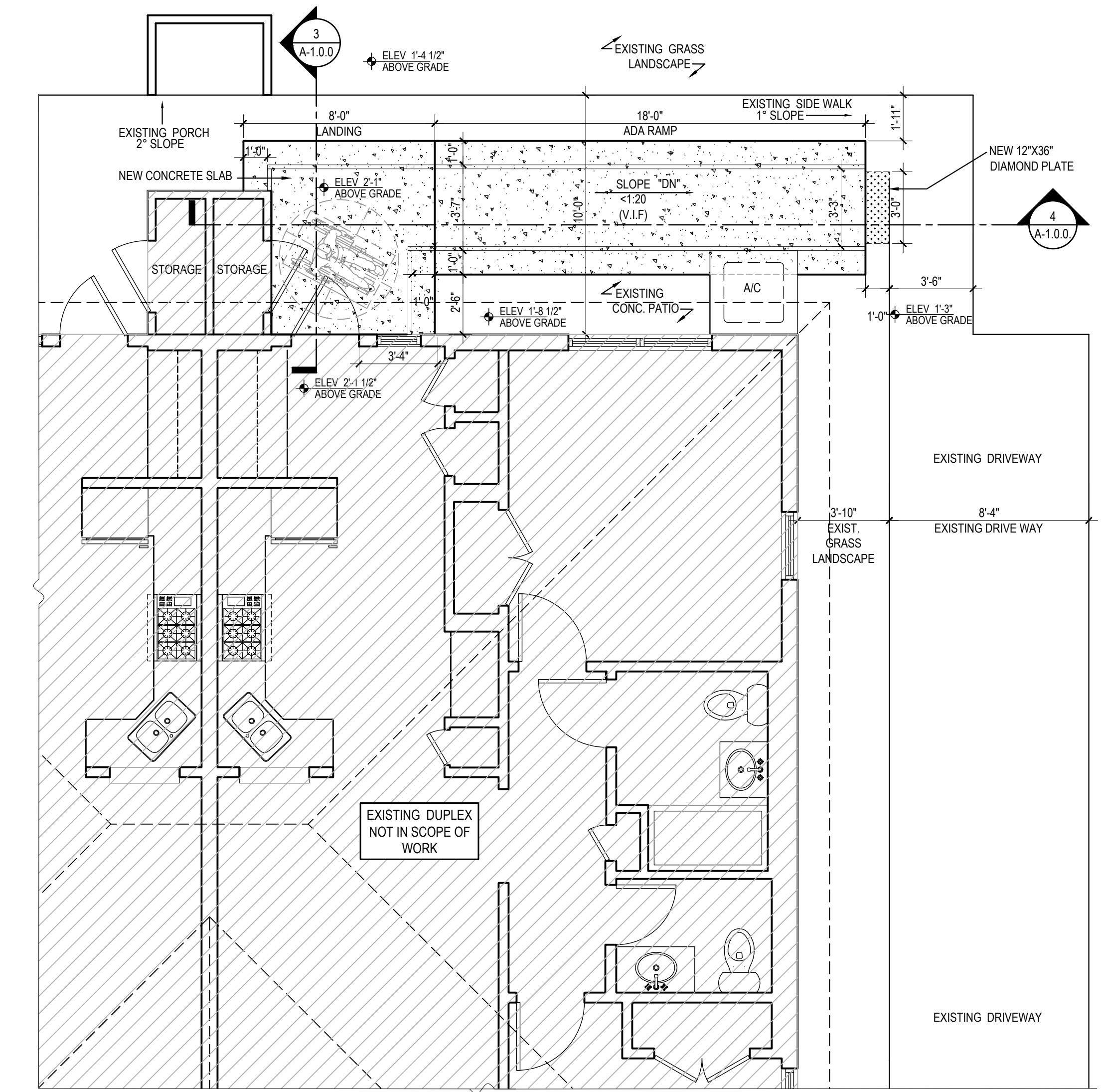
5 RAILING DETAIL
SCALE: 1-1/2" = 1'-0"



3 ADA RAMP CROSS SECTION
SCALE: 1/2" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED RAMP PLAN
SCALE: 1/4" = 1'-0"

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