

NOTES FROM PRE-BID MEETING

re: INVITATION FOR BID FOR THE RENOVATION OF CECIL GOBER APARTMENTS

June 13, 2013 at 9:00 a.m.
Lakeland Housing Authority
Emma Turner Center
1500 North New York Avenue, Lakeland

Lakeland Housing Authority (LHA) Staff Present:

- Valerie Brown, Senior Director of Development
- Carlos Pizarro, Director of Housing
- Kasandra Davis, Assistant Director of Housing
- Shauna Ginn, Asset Manager
- Tommy Bennett, Capital Fund Construction Engineer
- Tom Hornack, Administrative Services Manager

Robert Reid Wedding (RRW) Staff Present:

- Sharon McGee--RRW-Architects: sharon.mcgee@rrw-architects.com
- Matt Fergeson--RRW-Architects: matt.fergeson@rrw-architects.com

Bid Submittal:

- Bids are due no later than by 4:00 p.m., Eastern Time, July 8, 2013
- Bids must be delivered to LHA main office: 430 Hartsell Avenue, Lakeland, FL 33815

Project Summary:

- Project Scope: Minor interior, kitchen, and bath renovation
- Estimated Construction Cost: \$600,000 to \$800,000
- Total of ten (10) buildings which contain a total of 37 housing units
- Included within these 37 units are four (4) handicap-accessible units and two (2) audio-visual impaired units
- Handicap-accessible units: require new fixtures, casework, and finishes
- Audio-visual impaired units: floor plan & renovations per the *Typical Units* below. Review specs for additional special criteria
- Typical Units: minor wall reconfigurations, re-locating water heaters to outside storage closet, fixtures, casework and finishes
- The renovation sequence building will be determined at the pre-construction meeting
- There are 300 calendar days for project completion from the Notice to Proceed. The 300 calendar days contemplates needing approximately four (4) weeks to turn each building. One week of the four-week schedule is for relocation to move the residents and their furnishings. The remaining three (3) weeks is for the contractor

to perform: selective demolition, renovate the unit, obtain acceptance of the units from LHA, and receive a certificate of occupancy from the City of Lakeland for each unit.

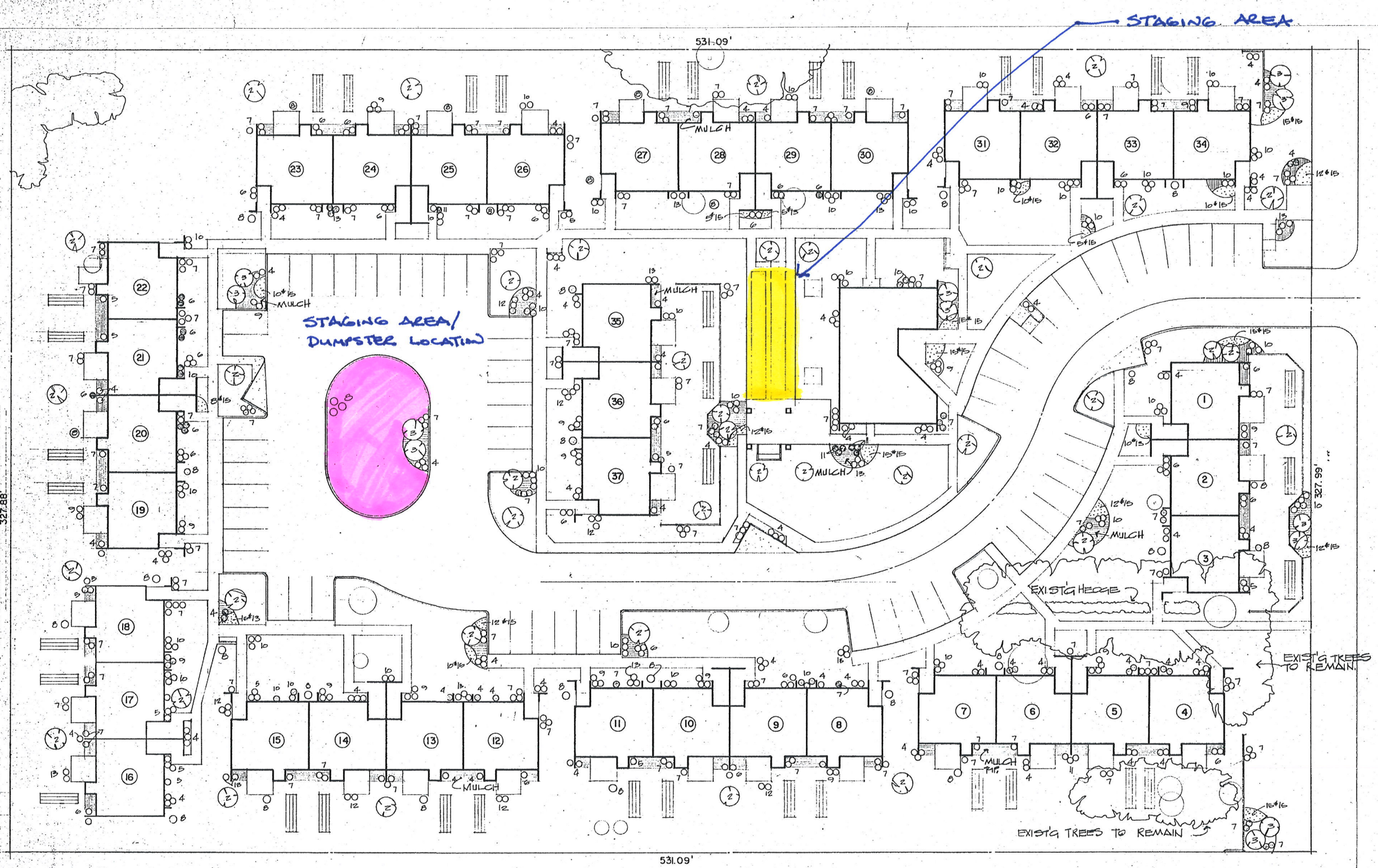
- LHA will be responsible for resident relocation and removing the furnishings from the units prior to construction.
- LHA will be responsible for having one building available at all times for the work during the project.
- RRW will provide the contractor with an estimated range for the permitting fees. Each contractor should build-in an accurate fee cost into its bid price.
- Each housing unit must be permitted individually.
- Water, sewer and electric will be provided within the units.
- The contractor will be responsible for providing adequately-sized dumpster(s) on-site
- The contractor will be responsible for, at least, weekly disposal of dumpster contents
- Two areas have been indicated on the attached drawing for material storage and/or as dumpster site. The contractor will be responsible for returning both areas to pre-construction condition at the conclusion of the project.
- The contractor will also be responsible keeping the job-site/surrounding area safe and clean.

Governmental Labor Requirements:

- Since the value of the work will exceed \$100,000, the project will be subject to a newly revised Section 3 and W/MBE policy that was approved by the LHA Board of Commissioners in November, 2012.
- This is a federally funded job in excess of \$2,000 which also means that Davis Bacon and Related (labor) Acts apply.
- Tommy Bennett (LHA Capital Funds Construction Engineer) will be doing the required on-site wage compliance interviews.

Additional Questions:

- Additional questions should be sent to matt.fergeson@rrw-architects.com no later than 1:00 p.m., Eastern Time, on June 24, 2013.
- Response will be available on the LHA website (www.lakelandhousing.org and RRW drop box) on or before 4:00 p.m., Eastern Time, on June 28, 2013.



SITE PLAN
 SCALE: 1" = 20'
 NOTE

1. SEE SH. L2 FOR MATERIAL LEGEND.
2. ALL OPEN AREAS OF SITE TO RECEIVE GRASS EOP. (SEE SPEC.)
3. EX. UNIT HAS EXTERIOR HOSE BIBB FOR USE IN WATERING.

LANDSCAPING ALTERED BY LAKELAND HOUSING AUTHORITY

STAGING AREA (Yellow highlight)

STAGING AREA/ DUMPSTER LOCATION (Pink highlight)

RECORDED SET DRAWING
 MAY 25, 1981

MOORE, MAY AND HARRINGTON ARCHITECTS INC.
 GAINESVILLE - PALATKA, FLORIDA

EMMER DEVELOPMENT CORP.
 GAINESVILLE, FLORIDA

57 Family/Elderly Turnkey Units
 for the
Housing Authority of Lakeland, Fl.
 HUD Project No. FL 011-006

FLORIDA AVENUE SITE LANDSCAPING PLAN

DRAWN	RT
CHECKED	BB
DATE	4/21/80
FILE NO.	620-12-80

SHEET NUMBER
L1
 of 2