



INVITATION FOR BIDS IFB2021-01

The Housing Authority of the City of Lakeland (also known as the Lakeland Housing Authority of LHA) acting for itself and/or for its various instrumentalities and affiliates will accept sealed bids from licensed and qualified contractors for **Structural Repairs and Replacement Construction at Cecil Gober Villas Apartments Units #19-20-21-22**, located at 2626 N. Florida Avenue, Lakeland, Florida 33805. The units sustained damage due to a fire in one of the units. Any contractor desiring to submit a bid for this project must have, at least, five (5) years' experiences repairing and/or remodeling multi-unit residential structures to be considered for this bid.

The complete Bid Package may be obtained by emailing a request to Leyer@LakelandHousing.org or our website at Lakelandhousing.org under Procurement. All bids must be submitted by **10:00 a.m., Eastern Time, on Wednesday, December 15, 2021**, at which time, bids will be publicly opened and read aloud. Any bid received after the closing time will not be considered.

LHA strongly encourages the participation of Minority, women-owned businesses, and Section 3 firms in this and all LHA projects, programs, and services. There will be a Pre-Bid Conference on **Wednesday, December 1, 2021, at 10:00am, Eastern Time** located at the Cecil Gober Villas Community Building.

INVITATION FOR BIDS
Structural Repairs and Replacement Construction at Cecil Gober
Villas Apartments Units #19-20-21-22

I. SCOPE OF REQUIRED SERVICES

Statement of Work:

The Housing Authority of the City of Lakeland (herein referred to as "*LHA*") hereby requests bids from licensed and qualified contractors for the repair of fire damage to Units 19, 20, 21, 22 of Cecil Gober Villas Apartments. The repairs must result in the unit being in an *equal to* or *better than* condition than existed prior to the damage. The Scope of Work generated by the insurance adjuster is attached herein as *Exhibit "A"*.

It is the bidder's responsibility to visit the site and familiarize itself with the conditions of the site. Although the adjustor's estimate is provided as Exhibit "A", the bidder is ultimately responsible for conducting its own field measurements to determine the amount and type of necessary: service, equipment, tools, materials, labor, fuel, transportation, and supervision required. (Normal household electrical service is not available on-site.) Such inspections may be made by appointment by contact, LHA Property Manager, Vanessa Johnson @ (863) 797-9834.

Submission of a bid is presumptive evidence that the bidder has thoroughly examined the site and is conversant with the requirements of the local jurisdiction.

The successful bidder:

- Must be a Residential Building or a General Contractor actively licensed in the State of Florida.
- Will provide a professional quality of work so that the average person will not be able to detect that the affected area was damaged and then later repaired.
- Shall use only new materials in this work that are of first quality and without defects. Only Sherwin-Williams interior latex paints or *LHA* pre-approved equivalent paints will be used to match the existing paint color(s). The drywall finishes and other surface finishes must match the existing finishes.
- Shall execute the work so that the finished project complies with all of the latest governmental codes and regulations. The anticipated costs of any required upgrades shall be included in the total bid price indicated on the bidder's submitted Bid Form.
- Shall clean work area of job-related debris upon completion of project as well as load and haul-off job-related debris.

- Shall constantly be mindful that the units are located in a viable residential community and every effort must be made to not unduly disturb the residents of the community or their guests
- Will provide all customary and necessary services whether or not indicated herein.
- Will provide a one-year general warranty on labor and materials upon the acceptance of the project by the *Lakeland Housing Authority*. This warranty will hold that the contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom. Further, the contractor shall furnish the *Lakeland Housing Authority* with all manufacturers' and suppliers' written warranties covering items furnished under this contract as well as any required close-out documentation prior to release of the final payment.

II. OTHER CONDITIONS

The following will apply to the successful bidder who is awarded a contract.

A. Insurance—To the satisfaction of LHA, the *successful* bidder will be required to provide LHA with a current certificate(s) of:

- *General Liability* insurance and *Automotive Liability* insurance with LHA named as an *additional insured* on each type of liability insurance. The General Liability insurance must contain a minimum of \$1,000,000 coverage per occurrence.
- *Workers' Compensation* coverage for all of the bidder's staff employed on the site of this project. The Workers' Compensation coverage must be, at least, the State of Florida required minimum.

The successful bidder shall maintain the above insurances in-force during the term of the contract.

B. Permits, Fee and Licenses--The successful bidder shall secure, maintain, and pay all permits, fees, and licenses necessary for the proper execution and completion of work. Copies of the above documents must be provided to **Lori Halula-Eyer**, LHA Sr. Manager of Procurement, **prior to** commencement of the work. Failure to provide the above documents prior to the beginning the work may result in a start delay or a stop-work order.

C. Modifications—In its best interest, LHA reserves the right to modify this Invitation for Bids. Modifications may include, but are not limited to, increasing, or deleting the scope of work contained in this Invitation for Bid.

Any such modification or amendment will be made available via the email address provided by the potential bidder. It is the responsibility of the potential bidder to access any such modifications or amendments.

- D. Section 3**—If a bidder intends to hire an *additional* employee(s) or to hire a sub-contractor for this project, then the successful bidder shall comply, to the fullest extent possible, with the requirements of the Housing and Urban Development (HUD) Act of 1968, Section 3, attached to this Invitation for Bids as well as *LHA's Section 3 and Minority and Woman Business Enterprise Policy*, which can be accessed at: <http://uploads.lakelandhousing.org/MWBE-Section-3-Policy.pdf>
- E. Non-Discrimination**--The successful bidder must ensure that employees and applicants for employment are not discriminated against because of race, color, religion, disability, gender, or national origin.
- F. Security and Safety**--The successful bidder shall protect and secure its materials, vehicles, and equipment, and shall assume full responsibility for loss, theft, vandalism, and any other damage for the duration of the contract. LHA will not assume responsibility for vandalism, theft, fire, and/or personal injury claims arising from or relating to the work to be performed. The successful bidder must exercise extreme caution and safety at all times to protect the work area and to eliminate accidents occurring at the work site. The successful bidder must also protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by the contracted work.
- G. Review and Inspection**--LHA may at its sole discretion and from time-to-time review and inspect the services provided including but not be limited to: site observations, review of time records, daily and other logs and records of activities, and supervisors' reports.
- H. Payment**--Payment shall be made within thirty (30) calendar days after submission of an invoice acceptable to LHA for the satisfactory performance of the contracted work as determined by LHA.
- *LHA* reserves the right to request and receive from the *Contractor* partial payment invoices for that portion of the work completed and accepted by *LHA* up to *LHA's* date of request.
 - The *Contractor* must provide to *LHA* all *LHA*-required lien waivers, and/or releases, and other such documents prior to receiving any payment.

Note: Since federal funds will be used for this project, LHA reserves the right to process only those invoices submitted with corresponding weekly Davis-Bacon certified payroll(s). (See Item **II.K.** for more information on Davis-Bacon requirements. A copy of the U.S. Department of Labor, Wage and Hour Division certified payroll form--WH-347--is attached to this bid package for reference.) LHA will not process any invoice lacking the appropriate certified payroll(s)

until the relevant certified payroll(s) is received and approved by LHA. Also, LHA is required by the U.S. Department of Housing and Urban Development (HUD) to conduct on-site wage interviews with the small sample of the successful bidder's (and sub-contractor's) on-site staff using the attached Form HUD-11. This form is used to confirm certain information contained in the submitted certified payroll form.

- I. **Term**—In order to encourage as many potential bidders as possible to respond to this Invitation for Bids, the Lakeland Housing Authority did not specify *start and end dates* in this Invitation for Bids. LHA desires that the work contained in this Invitation for Bids be completed as soon as possible. LHA is requesting that each bidder indicate on its submitted Bid Form its earliest anticipated *start date* if awarded the project. LHA reserves the right to negotiate start and completion dates as well as the right to award the bid to that bidder whose bid proposal is most favorable to LHA on the basis of cost and/or time.

- J. **Liquidated Damages**—If the successful contractor fails to complete the work within the time specified in subsequent signed Agreement for services, the successful contractor shall pay liquidated damages to LHA in the amount of **\$75.00** for each calendar day of delay until the work is completed by the successful contractor and accepted by LHA. Depending on the circumstances, LHA reserves the right to grant exceptions to this requirement on a case-by-case basis.

- K. **Federal Labor Standards Provisions**—Due to the nature of the funding to be used by LHA for this project, certain Federal requirements apply such as the **Federal Labor Standards Provisions** which include the Davis-Bacon Act, the Copeland Act, and Contract Works Hours and Safety Standards Act. These documents as well as the document **Making Davis-Bacon Work, A Contractor's Guide to Prevailing Wage Requirements** may be accessed electronically on the LHA web site, www.lakelandhousing.org, by clicking on *Procurement*, then *Invitation for Bid*. For the bidder's convenience, a copy of the current Davis Bacon **wage determination** sheets for residential projects in Polk County--General Decision Number: FL20210082, 09/24/2021--is attached to this Bid Package. To comply with Federal guidelines, the successful bidder will be required to post these **wage determination** sheets at the work site in a conspicuous place during the project.

- L. **Communications**--In order to maintain a fair and impartial competitive process, LHA shall avoid private communication concerning this procurement with prospective bidders during the entire procurement process. Please respect this policy and do not attempt to query LHA or West Lake Management personnel regarding this Invitation for Bids.

Ex parte communication regarding this solicitation is prohibited between a potential or current bidder and any LHA Board of Commissioners member, LHA or West Lake Management staff, or any other person serving as an evaluator during this procurement process. A respondent directly contacting any LHA Board of Commissioners member, LHA staff, West Lake Management staff, or evaluators regarding this solicitation risks the elimination of its bid from consideration. Email

correspondence with **Lori Halula-Eyer**, LHA's Sr. Manager of Procurement, does not constitute *ex parte* communication. Oral instructions or information concerning the specifications of this procurement given out by any LHA Board of Commissioners member, LHA or West Lake Management employee, or agent to a prospective bidder shall not bind LHA.

In the event that a potential respondent has questions that he/she would like to have addressed, the potential respondent should email questions to Leyer@LakelandHousing.org prior to **10:00 a.m., Eastern Time, on November 29, 2021**. Receipt of request will be acknowledged. **Prior to 6:00 p.m., Eastern Time, on December 2, 2021**, the responses to any submitted questions or questions asked at the pre-bid meeting will be sent by email to all potential respondents who received this Invitation for Bids directly from LHA. It is the potential respondent's responsibility to monitor his/her email for any additional information related to this procurement.

In LHA's best interest, LHA reserves the right to modify this Invitation for Bids. Any such modification or amendment will be sent by email on or before **6:00 p.m., Eastern Time, on December 2, 2021**, to all potential proposers who received this Invitation for Bids directly from LHA.

III. SUBMISSION OF BIDS

A. Original Bid

An **original bid** shall be delivered by mail or hand-delivered addressed to:

**Lori Halula-Eyer
re: Structural Repair/Replacement at Cecil Gober, units 19, 20, 21,22
c/o Lakeland Housing Authority
430 Hartsell Avenue
Lakeland, Florida 33815**

The outside of the envelope must indicate the name and address of the firm submitting the bid as well as the title of the bid being submitted.

Any bid transmitted by facsimile, electronic mail, or not in compliance with the above instructions may not be considered. All bids and accompanying material will become the property of the *LHA* and will not be returned to the bidder.

The bidder will only submit its bid on the Bid Form provided with this Invitation for Bids. Bids submitted in another format may be rejected as non-responsive.

B. Validity--Bids may be held by the **LHA** for a period not to exceed thirty (30) calendar days from the date of opening for the purpose of reviewing them and investigating the qualifications of the respondent prior to awarding the work.

C. Withdrawals--No bid shall be withdrawn subsequent to the stated opening of the bids without the written consent of *LHA*. *LHA* reserves the right to accept or reject any and all bids or any part of any bid and to waive any informalities or irregularities in the bid or in the procurement process.

D. Conflict of Interest--No *LHA* or Lakeland-Polk Housing Corporation Board member, officer, employee of *LHA* or *West Lake Management* shall, during his/her tenure or for one (1) year thereafter, shall have any interest, direct or indirect, in this contract or the proceeds thereof.

E. Award of Contract--

1. *LHA* reserves the right: to accept or reject any and all bids or any part of any bid and to waive informalities and minor irregularities and technicalities.
2. *LHA* also reserves the right to award the bid to that fully qualified, responsive, and responsible bidder whose offer conforms to this Invitation for Bids and whose bid is deemed by *LHA* to be in the best interest of the owner.

F. Disputes

In case of any doubt or differences of opinions as to the items or service to be furnished hereunder or the interpretation of the provisions of the Bid Package, the following dispute process shall apply:

- Any protests (unless otherwise specified, the use of the term "protest" shall also include "disputes" and "appeals") shall be submitted in writing to the LHA Procurement Officer. The protest must be emailed to Leyer@LakelandHousing.org in accordance with the time requirements listed below.
 - Any protest against a solicitation must be received before the due date of the receipt of bids.
 - Any protest against the award of a contract must be received within two calendar days after contract award.
 - Any protest of a decision to reject a response to this Invitation for Bids (IFB) must be received within two calendar days after being notified in writing of LHA's decision.

By submitting its response to this IFB, the proposer agrees that the written decision of the LHA Executive Director regarding any protest shall be final and binding upon all parties.

BID FORM
Structural Repairs and Replacement Construction at Cecile
Gober Villas Apartments Units #19-20-21-22

From: (Name of Business) _____, a(n) (circle one of the following) corporation/partnership/individual hereinafter referred to as the "Bidder."

To: **The Housing Authority of the City of Lakeland**

The Bidder, having examined the Invitation to Bid for the above-referenced project, and being familiar with all of the conditions surrounding the proposed project, proposes to furnish the necessary labor, supervision, equipment, materials, and supplies to perform the work in accordance with the Bid Package at the price stated below.

The Bidder acknowledges receipt of the following addendums, if any: _____

The Bidder offers to repair unit 19 as described in the Bid Package for the following:

Area	Exhibit "A" Reference	Sub-Total	TOTAL BID*
Living Room	Page 2-3	\$	
Kitchen	Page 3-4	\$	
Hallway	Page 5	\$	
Master Room	Page 6		
Laundry Room	Page 7	\$	
Bathroom	Page 8		
Bedroom 2	Page 9		
			\$

**In the event of a discrepancy between the sum of the "Sub Totals" and the "Total Bid" price, the sum of the "Sub-Totals" shall prevail.*

The Bidder offers to repair unit 20 as described in the Bid Package for the following:

Area	Exhibit "A" Reference	Sub-Total	TOTAL BID*
Living Room	Page 10	\$	
Kitchen	Page 11-12	\$	
Hallway	Page 12-13	\$	
Master Room	Page 13-14		
Laundry Room	Page 14-15	\$	
Bathroom	Page 15-16		
Bedroom 2	Page 17		
			\$

**In the event of a discrepancy between the sum of the "Sub Totals" and the "Total Bid" price, the sum of the "Sub-Totals" shall prevail.*

The Bidder offers to repair unit 21 as described in the Bid Package for the following:

Area	Exhibit "A" Reference	Sub-Total	TOTAL BID*
Living Room	Page 17-18	\$	
Kitchen	Page 19-20	\$	
Hallway	Page 20-21	\$	
Master Room	Page 21-22		
Laundry Room	Page 22-23	\$	
Bathroom	Page 23-24		
Bedroom 2	Page 25		
			\$

**In the event of a discrepancy between the sum of the "Sub Totals" and the "Total Bid" price, the sum of the "Sub-Totals" shall prevail.*

The Bidder offers to repair unit 22 as described in the Bid Package for the following:

Area	Exhibit "A" Reference	Sub-Total	TOTAL BID*
Laundry Room	Page 26	\$	
Master Bedroom	Page 27	\$	
Kitchen	Page 28-29	\$	
Living Room	Page 29-30		
Hallway	Page 30-31	\$	
Bathroom	Page 31-32		
Bedroom 2	Page 32-33		
			\$

**In the event of a discrepancy between the sum of the "Sub Totals" and the "Total Bid" price, the sum of the "Sub-Totals" shall prevail.*

The Bidder offers to repair roof as described in the Bid Package for the following:

Area	Exhibit "A" Reference	Sub-Total	TOTAL BID*
Roof	Page 1	\$	
			\$

**In the event of a discrepancy between the sum of the "Sub Totals" and the "Total Bid" price, the sum of the "Sub-Totals" shall prevail.*

If awarded this bid, by December 20, 2021, the Bidder anticipates that it will begin the

contracted work on/before (date) _____ and complete the contract work

on/before (date) _____. The Bidder anticipates that the project will take _____ days from start to finish.

With check marks, the Bidder is indicating below that the following required items/information/forms are being submitted as part of the Bidder's response:

- This required BID FORM: _____
- Specifications of the *better than* or *equal to* paint that is being offered:
 _____ Applicable or _____ Non-applicable
- Copy of the Bidder's current professional license: _____

- Proof of existing workers' compensation coverage and general and automobile liability insurances: _____
- A list--*including* contact information **and completion dates**--of, at least, three past *multi-family* projects that received similar services from the Bidder prior to November 2016: _____
- A list--*including* contact information **and completion dates**--of, at least, three recent *multi-family* projects that received similar services from the Bidder since December 2016: _____
- That the Bidder completed, signed, and enclosed:
 - Non-collusion Certification form*: _____
 - Public Entity Crime Statement*: _____
 - HUD Form 5369-C, Representations, Certifications and Other Statements of Bidders*: _____
 - HUD-50070, Certification for a Drug-Free Workplace*: _____
 - Section 3 Business certification*: _____

**(A blank copy is provided with this Bid Package.)*

Failure to provide *any* of the above information may render the submitted bid as *non-responsive* and may cause the bid to be rejected.

In submitting this bid, I hereby certified that I checked my email after **6:00 p.m.**, Eastern Time, on **December 2, 2021**, to obtain any modifications or updates to this Invitation for Bids.

Submitted By: _____

Title:

Signature: _____

Business Address: _____

Business Phone Number: _____

Email address of above signer: _____

EXHIBIT "A"

SCOPE OF WORK

Note 1:

The Bidder may request consideration of substitute materials or products which *meet* or *exceed* the specifications of the brand name materials or products specified in this Bid Package. If this option is exercised, the Bidder must submit:

- Written documentation of manufacturer's specifications for the substitute materials or products
- Written documentation of manufacturer's specifications for the corresponding brand name materials or products identified in the Bid Package
- A printed side-by-side comparison of the individual specifications of the substitute materials or products as compared with the brand name materials or products

Failure to provide *any* of the above information may render the submitted bid as *non-responsive* and may cause the bid to be rejected.

EXHIBIT "A"

FORCON INTERNATIONAL CORP

1413 Tech Boulevard, Suite 212, Tampa, FL 33619
813/684-7686 • 813/654-1481 FAX • www.forcon.com
Florida Registry Number: RY5346



July 28, 2021

Mr. Phil Coello
Gallagher Bassett
PO Box 2934
Clinton, IA 52733-2934

RE: SUPPLEMENTAL REPORT – Structural Investigation - Fire
INSURED: Lakeland Housing Authority
LOSS ADDRESS: 2626 North Florida Avenue – Lakeland, FL 33805
DATE-OF-LOSS: Not Provided
CLAIM #: 010684-002220-RB-01
FORCON CASE #: FP21172

Dear Mr. Coello:

FORCON International Corporation (FORCON) would like to provide this supplement to our report, dated June 29, 2021, in response to your request for building code upgrade requirements.

The recommended repairs provided in the original report dated June 29, 2021, are for the purposes of estimating the requirements necessary to restore the structural integrity of the subject property and for cost estimating only. The recommended structural repairs and/or replacement of the subject property shall meet the requirements of the **2020 Florida Building Code, Existing Building – 7th Edition**. The repairs and/or replacement of structural members and components shall comply with the provisions of Chapter 4 – Repairs including the provisions of Section 706 – Existing Roofing. The following portions of Chapter 4 are specifically noted and recommended for building code upgrade compliance of the subject property:

1. Section 401.1 – Scope: *Repairs shall comply with the requirements of this chapter and with the provisions of Section 707.*

Forcon note: **Historic building provisions are not necessary or required for the subject property.**

2. Section 402.1 – New and Replacement Materials: *Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs provided no dangerous or unsafe condition, as defined in Chapter 2, is created. Hazardous materials, such as asbestos and lead-based paint, shall not be used where the code for new construction would permit their use in buildings of similar occupancy, purpose and location.*
3. Section 406.1 – Structural / General: *Structural repairs shall be in compliance with this section and Section 401.2. Regardless of structural or nonstructural damage, dangerous conditions shall be eliminated. Regardless of the scope of repair, new structural members and connections used for repair or rehabilitation shall comply with the detailing provisions of the Florida Building Code, Building for new buildings of similar structure, purpose and location.*

4. Section 406.2.1 – Repairs for less than substantial structural damage: For damage less than substantial structural damage, the damaged elements shall be permitted to be restored to their predamage condition.

Forcon note: This section does not apply to any of the conclusions provided in the original report. All structural elements requiring repair or replacement should be considered as sustaining substantial structural damage and shall comply with the following Sections 406.2.2 and 406.2.3.

5. Section 406.2.2 – Substantial structural damage to vertical elements of the lateral force-resisting system: A building that has sustained substantial structural damage to the vertical elements of its lateral force-resisting system shall be evaluated in accordance with Section 406.2.2.1, and either repaired in accordance with Section 406.2.2.2 or repaired and rehabilitated in accordance with Section 406.2.2.3, depending on the results of the evaluation.

Section 406.2.2.1 – Evaluation: The building shall be evaluated by a registered design professional, and the evaluation findings shall be submitted to the code official. The evaluation shall establish whether the damaged building, if repaired to its predamage state, would comply with the provisions of the Florida Building Code, Building for load combinations that include wind or earthquake effects, except that the seismic forces shall be the reduced level seismic forces.

Forcon note: These sections apply to the roof framing members and interior 2x4 wood walls discussed in Conclusions #3 through #6 in the original report.

6. Section 406.2.3 – Substantial structural damage to gravity load-carrying components: Gravity load-carrying components that have sustained substantial structural damage shall be rehabilitated to comply with the applicable provisions for dead and live loads in the Florida Building Code, Building. Undamaged gravity load-carrying components that receive dead, live or snow loads from rehabilitated components shall also be rehabilitated if required to comply with the design loads of the rehabilitation design.

Forcon note: These sections apply to the roof framing members and interior 2x4 wood walls discussed in Conclusions #3 through #6 in the original report.

7. Section 706.1 – Existing Roofing / General: Materials and methods of application used for recovering or replacing an existing roof covering shall comply with the requirements of Chapter 15 of the Florida Building Code, Building, or Chapter 9 of the Florida Building Code, Residential. Roof repairs to existing roofs and roof coverings shall comply with the provisions of this code.

LIMITATIONS

The contents of this report are intended for the use of **Gallagher Bassett** and its designated representatives and are not intended for any other purpose. FORCON assumes no liability for the misuse of this information by others. The observations, comments, conclusions, analysis, and opinions expressed herein are based upon the results and interpretations of the testing and/or data collection activities performed at the time of the inspection, and the best information provided to me, and have been provided upon a reasonable degree of engineering certainty. FORCON reserves

Mr. Phil Coello, Gallagher Bassett
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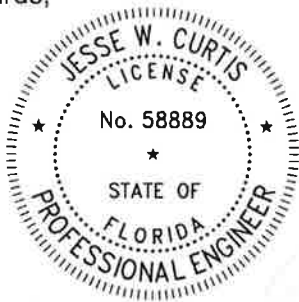
FORCON
INTERNATIONAL

the right to update/revise the observations, opinions and/or the recommendations to this report should conditions change, or additional information become available.

A digital signature has been used to sign and seal this document and to electronically transmit this document. If not digitally signed and sealed by the licensed professional named and shown as its author, the findings, conclusions, and opinions cannot be relied upon; as such, the document has been provided for information purposes only. Printed copies of this document are not considered signed and sealed and the signature must be verified on electronic copies.

FORCON appreciates this opportunity to have assisted **Gallagher Bassett** with this investigation. We trust that this information fulfills the requested scope of services in this matter, and if we can be of further support, please do not hesitate to contact us.

Regards,



Digitally signed by
Jesse W. Curtis, PE
Date: 2021.07.28
10:28:08 -04'00'

Jesse W. Curtis, P.E.
Professional Engineer (Civil/Structural)
Florida License Number 58889

For FORCON Florida Registry Number: RY5346

FORCON INTERNATIONAL CORP

1413 Tech Boulevard, Suite 212, Tampa, FL 33619
813/684-7686 • 813/654-1481 FAX • www.forcon.com
Florida Registry Number: RY5346



June 29, 2021

Mr. Phil Coello
Gallagher Bassett
PO Box 2934
Clinton, IA 52733-2934

RE: Structural Investigation – Fire
INSURED: Lakeland Housing Authority
LOSS ADDRESS: 2626 North Florida Avenue – Lakeland, FL 33805
DATE-OF-LOSS: Not Provided
CLAIM #: 010684-002220-RB-01
FORCON CASE #: FP21172

Dear Mr. Coello:

As requested, Jesse W. Curtis, P.E., a FORCON International Corporation (FORCON) Consultant and Professional Civil/Structural Engineer, performed a site investigation and evaluation of reported fire damage at the subject property. The site investigation was performed on June 21, 2021. Mr. Bert McFarlane, representing the insured, provided access to the exterior, interior, and roof of the subject property. The purpose of the investigation was to evaluate the alleged fire damage in the building containing four dwelling units. **FORCON's scope included a structural evaluation of the interior and exterior building to identify building elements requiring repair or replacement.** The cause and origin of the fire was investigated by others and is discussed in the DOCUMENT REVIEW section of this report.

During the site investigation, background information was gathered, the property was visually inspected and photographed, and field notes documenting pertinent information were prepared. Some of these photographs are included as Photographs in the attached report. A complete Photograph Log may be obtained, if requested.

SITE DESCRIPTION

According to the Polk County Property Appraiser records, the subject property is a one-story, multi-family structure containing four individual dwelling units with a total living area of 3,180 square feet that was originally built in 1981. The building is constructed with wood framed exterior load-bearing walls clad with brick and has a soil-supported, concrete slab-on-ground. The roof is gable in configuration and covered with three-tab, asphalt shingles. The front wall elevation of the structure faces east.

Overviews of the exterior elevations are presented in **Photographs 1 through 4**. The remaining photographs represent typical distress and the conditions observed during the site investigation.

Mr. Phil Coello, Gallagher Bassett
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BACKGROUND INFORMATION

Mr. Bert McFarlane, representing the insured, was present during the investigation and stated that the fire started in Unit #21 in the front bedroom on May 17, 2021. Ms. Heather Miconi, with First On Site Project Restoration, provided an email on June 20, 2021 containing daily field reports with photographs of the cleanup process for my review.

DOCUMENT REVIEW

Incident Report – Lakeland Fire Department, Station 3, Shift A

The 12 page report provides a detailed account of the incident that was classified as a building fire at the subject property occurring in Unit #21. The report states that the incident occurred on 5/17/21 at 7:26 am with arrival on scene at 7:32 am. On 5/18/21, Lakeland Fire Rescue requested the assistance of an on-call fire investigator at the scene and the report concludes that the origin of the fire was the bedroom (mattress/bed) in Unit #21 and the cause was accidental/electrical. The report details the examination of the interior portions of the structure conducted from the least damaged areas and proceeding to the most damaged. The report states that Unit #19 sustained minor smoke and water damage on the northside of the apartment. Unit #20 exhibited fire and smoke damage to the northside of the unit and burn patterns observed pointed to signs that the fire had extended from the adjacent Unit #20. Unit #21 sustained heavy fire and smoke damage throughout the living room area and became severe near the bedroom on the east side of the unit. The burn patterns in Unit #20 expressed an obvious "V" pattern located adjacent a bed on the south wall of the bedroom. Additional burn patterns were present in the bedroom extending through the ceiling and spreading throughout the attic. Unit #22 sustained heavy smoke and fire damage with patterns that also exhibited fire extension from the attic area of the adjacent Unit #21.

SUMMARY OF OBSERVED CONDITIONS AND ENGINEERING EVALUATION

Based on the fire-related effects visually observed, the fire appeared to originate in Unit #21 as detailed in the incident report discussed in the DOCUMENT REVIEW. The entire roofing system covering Units #21 and #22 and the northern portion of the roofing system covering Unit #20 was damaged and removed prior to my arrival. The interior portion of Units #20, #21, and #22 were cleaned out and only the interior and exterior wood stud walls were remaining with the concrete floor slab exposed. The exterior, interior, and attic space of Unit #19 were observed, and no structural damage was found, only minor smoke related staining (**Photographs 5 through 14**).

The remaining three units in the structure (#20, #21, and #22) sustained substantial structural damage. The following details the observations made of each structural building element:

Roofing System

The entire roofing system covering Units #21 and #22 was damaged and removed. A temporary roof framing system supporting a blue tarpaulin covering was in place. Unit #21 roofing system sustained varying levels of damage and the northern portion of Unit #21 roofing system was severely damaged and removed, and the temporary roofing system was in place.

Overviews of the roof above Unit #19 and the southern portion of Unit #20 covered with three-tab, asphalt shingles shown in **Photographs 15 through 22**. **Photograph 23** is a close-up view of the three-tab, asphalt shingles above Unit #20 with an exposure of 5 inches tall by 36 inches wide. The shingles were observed to be brittle, to have good adhesion to the shingle layer below, and to have moderate granule loss. The roof slope of the main gable roof section was approximately 4 inches vertical to 12 inches horizontal (4:12). No evidence of fire-related defects to the three-tab, asphalt shingles that remained was found. The asphalt shingles that remained on the structure were covering Units #19 and the southern portion of Unit #20 and showed evidence of normal age and deterioration. However, the shingles have multiple years of useful service life remaining and do not require repair or replacement from the effects of the fire.

Photographs 24 through 31 show interior views of the approximately 16 pre-engineered wood roof trusses that were remaining and in place above Unit #20 with the southern portion of the 16 wood trusses still covered with oriented strand board (OSB) wood sheathing and asphalt shingles. The northern portion of the 16 wood trusses were covered with the temporary blue tarpaulin covering. Trusses 1 through 7, beginning at the southern end of Unit #20 at the separation wall of Unit #19 and extending to the north for approximately 14 feet, were observed to have minor fire-related effects in the form of smoke stains, but no fire-related damage was observed to the wood trusses or to the OSB wood sheathing. An awl was used to determine the depth of charring and if the wood sustained fire-related damage or only fire-related effects from smoke. These 7 trusses do not require repair or replacement. In addition, no fire-related damage was observed to the metal tie-down fasteners attaching the bottom chord of the wood trusses to the top plates of the interior and exterior load-bearing walls (Photographs 30 through 32). All the roof framing members and the roof covering system located to the north of the 7th wood truss located approximately 14 feet from the southern end of Unit #20, sustained severe fire-related damage and require complete replacement.

The roof and ceiling framing systems located at the front entry foyers of Units #20 and #21 also sustained fire-related damage. **Photographs 32 through 37** show views of the roof and ceiling framing system at Unit #20. All wood framing members as well as the OSB wood sheathing require replacement except for the double 2x12 wood header beam. Photographs 36 and 37 show close-up views of both sides of the wood header. The east face of the header sustained minor fire-related damage in the form of light to moderate charring. The layer of wood that experienced charring can be considered to have lost all strength in the depth of that layer. However, due to its low thermal conductivity properties, the wood beneath the charred layer can be assumed to have no significant loss of strength. The double 2x12 wood header beam can be repaired by sistering a new 2x12 wood framing member with the existing double 2x12 header. All the roof and ceiling framing system at the front exterior entry foyer of Unit #21, including the 2x12 wood header beam, sustained fire-related damage requiring complete replacement.

Exterior Load-Bearing Walls and Interior Walls

The exterior load-bearing walls consist of 2x4 wood studs and are clad with exterior plywood or drywall sheathing and brick. **Photographs 38 through 48** show views of the exterior load-bearing wall system and the interior 2x4 wood partition walls. Multiple locations throughout Units #20, #21, and #22 sustained fire-related damage to the wall framing in the form of severe charring and require repair or replacement. The portions of the top plate of the 2x4 wood walls should be repaired by removing the severely charred portions and replacing with new 2x4 wood members.

Multiple locations where the upper portion of the exterior or interior 2x4 wood wall framing system sustained fire-related damage in the form of severe charring requiring repair were observed. These areas of severe damage should be completely replaced with new 2x4 stud framing members and new plywood sheathing. No exterior or interior wood 2x4 walls were observed to have damage to the bottom plate. When a new 2x4 stud framing member is required, the existing bottom plate can remain in place.

Photographs 49 through 55 show views of the exterior utility closet at the rear of Units #21 and #22. The upper portion of the exterior wood wall framing systems sustained severe fire-related damage and requires replacement of the 2x4 wood studs and the plywood sheathing. No fire-related damage to the 2x4 bottom plates were observed and can remain in place.

Exterior Brick Cladding

Photographs 56 through 64 show views of the brick cladding on the exterior of all four units. The brick cladding that remained and was in place for all four units was evaluated by sounding with a hammer and no fire-related damage was found that affects the structural integrity of the brick. Multiple areas of the upper portion of the brick cladding sustained minor fire-related effects from smoke and can be repaired by cleaning. One area at the rear portion of Unit #21 where the fire started sustained some damage and a portion of the brick cladding was missing and requires repair with new brick (Photograph 62).

Concrete Floor Slab

No cracks or defects caused by fire-related damage were observed to the concrete floor slab throughout all four units and no repair is required.

CONCLUSIONS

1. The site investigation revealed that no structural fire-related damaged was found in Unit #19.
2. The asphalt shingles that remained on the structure were covering Units #19 and the southern portion of Unit #20 and showed evidence of normal age and deterioration. However, the shingles have multiple years of useful service life remaining and do not require repair or replacement from the effects of the fire.
3. Pre-engineered roof trusses 1 through 7, beginning at the southern end of Unit #20 at the separation wall of Unit #19 and extending to the north for approximately 14 feet, do not require repair or replacement. All the roof framing members and the roof covering system located to the north of the 7th wood truss, located approximately 14 feet from the southern end of Unit #20, sustained severe fire-related damage and require complete replacement.
4. The roof and ceiling framing systems located at the front entry foyers of Units #20 and #21 sustained fire-related damage. All wood framing members as well as the OSB wood sheathing requires complete replacement except for the double 2x12 wood header beam at Unit #20. The double 2x12 wood header beam can be repaired by sistering a new 2x12 wood framing member with the existing double 2x12 header.
5. The portions of the top plate of the exterior and interior 2x4 wood walls should be repaired by removing the severely charred portions of the wood member and replacing with new

2x4 wood members. The portions of the exterior and interior 2x4 stud wall framing members and plywood sheathing that sustained areas of fire-related damage should be completely replaced with new 2x4 stud framing members and new plywood sheathing. No exterior or interior wood 2x4 walls were observed to have damage to the bottom plate. When a new 2x4 stud framing member is required, the existing bottom plate can remain in place.

6. The upper portion of the exterior wood wall framing systems of the rear exterior closets for Units #21 and #22 sustained severe fire-related damage and require replacement of the 2x4 wood studs and the plywood sheathing. No fire-related damage to the 2x4 bottom plates were observed and can remain in place.
7. No fire-related damage was found that effects the structural integrity of the brick that remained in place for all four units. Multiple areas of the upper portion of the brick cladding sustained minor fire-related effects from smoke and can be repaired by cleaning. One area at the rear portion of Unit #21 where the fire started sustained some damage and a portion of the brick cladding was missing and requires repair with new brick.
8. No cracks or defects caused by fire-related damage were observed to the concrete floor slab throughout all four units and no repair is required.
9. Recommended repairs included in this report are for the purposes of estimating the requirements necessary to restore the structural integrity of the subject property and for cost estimating only. A structural engineer licensed in the State of Florida shall complete an evaluation of the existing structure and provide signed and sealed construction documents, in accordance with the current Florida Building Code (FBC) requirements, for the purpose of obtaining a building permit.

Mr. Phil Coello, Gallagher Bassett
Claim #: 010684-002220-RB-01
FORCON No. FP21172
June 29, 2021
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LIMITATIONS

The contents of this report are intended for the use of **Gallagher Bassett** and its designated representatives and are not intended for any other purpose. FORCON assumes no liability for the misuse of this information by others. The observations, comments, conclusions, analysis, and opinions expressed herein are based upon the results and interpretations of the testing and/or data collection activities performed at the time of the inspection, and the best information provided to me, and have been provided upon a reasonable degree of engineering certainty. FORCON reserves the right to update/revise the observations, opinions and/or the recommendations to this report should conditions change or additional information become available.

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FORCON appreciates this opportunity to have assisted **Gallagher Bassett** with this investigation. We trust that this information fulfills the requested scope of services in this matter, and if we can be of further support, please do not hesitate to contact us.

Regards,

Dara
Thomas

Digitally signed by
Dara Thomas
Date: 2021.06.29
15:17:11 -04'00'

Jesse W. Curtis, P.E.
Professional Engineer (Civil/Structural)
Florida License Number 58889

Dara Thomas
Professional Engineer (Civil/Structural)
Florida License Number 40290

For FORCON Florida Registry Number: RY5346
Attachment: Photograph 1 through Photograph 64



Photograph 1) – Front (east) elevation.



Photograph 2) – Left (south) elevation at Unit #19.



Photograph 3) – Right (north) elevation at Unit #22.



Photograph 4) – Rear (west) elevation.



Photograph 5) – Exterior view of Unit #19.



Photograph 6) – View looking north along the front elevation of Unit #19.



Photograph 7) – Close-up view of the exterior of Unit #19 at the front entry foyer.



Photograph 8) – Close-up view of the soffit overhang and gable end siding at the south end of Unit #19. Arrows indicate fire-related effects from smoke.



Photograph 9) – View looking east at the rear covered patio of Unit #19.



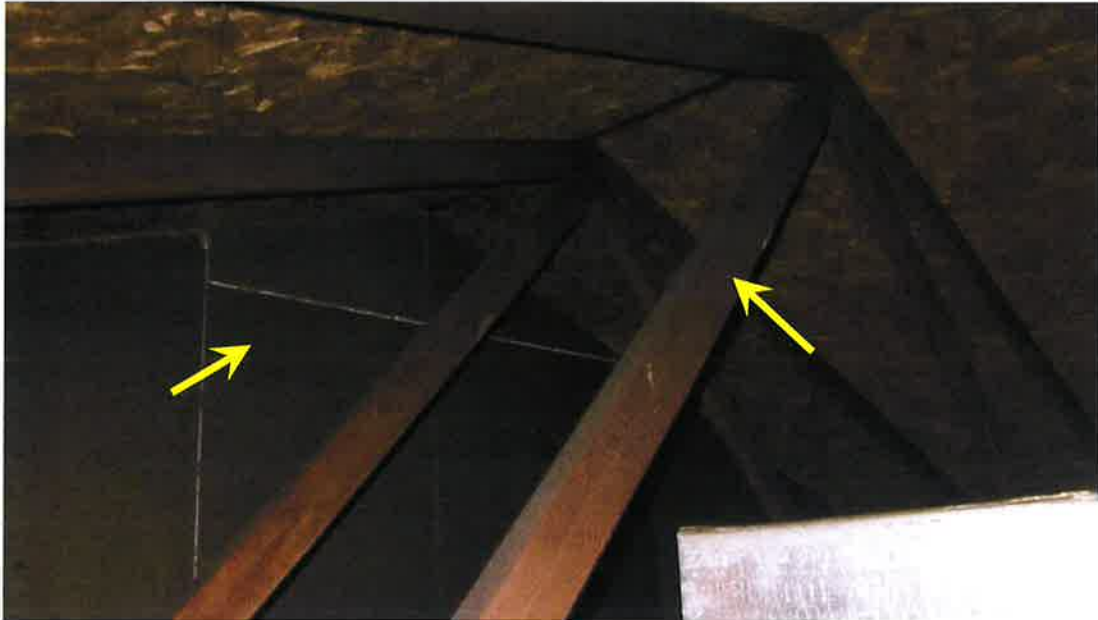
Photograph 10) – View looking northeast into the living room at the front of Unit #19.



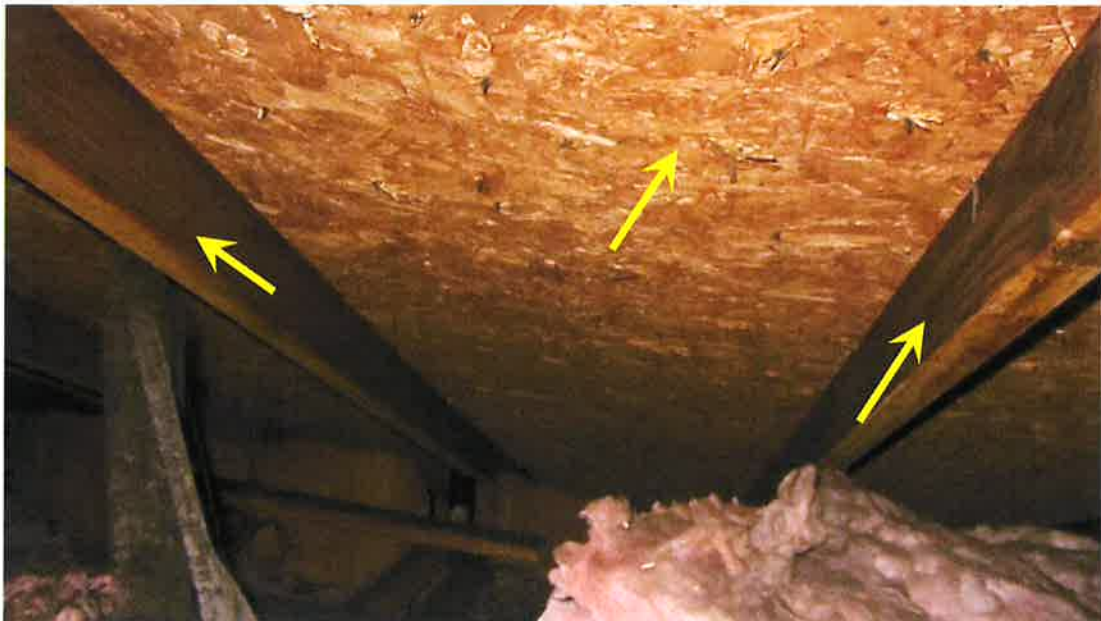
Photograph 11) – View looking northeast into the bedroom at the front of Unit #19. Arrows indicate fire-related effects from smoke.



Photograph 12) – View looking west into the bathroom of Unit #19. Arrows indicate fire-related effects from smoke.



Photograph 13) – View looking north at the wood roof framing above Unit #19. Left arrow indicates the separation wall between Unit #20. Right arrow indicates pre-engineered wood roof truss. Fire-related effects from smoke visible.



Photograph 14) – Close-up view of the wood roof framing above Unit #19. Middle arrow indicates the OSB sheathing. Left and right arrows indicate pre-engineered wood roof truss. Fire-related effects from smoke visible on roof trusses.



Photograph 15) – Roof overview looking north along the ridge of the roof above Unit #19 and #20.



Photograph 16) – Roof overview looking east along the rake at the south gable end above Unit #19.



Photograph 17) – Roof overview looking northeast at the field zone of the east slope of the roof above Unit #19.



Photograph 18) – Roof overview looking west along the rake at the south gable end above Unit #19.



Photograph 19) – Roof overview looking northeast at the field zone of the west slope of the roof above Unit #19.



Photograph 20) – Roof overview looking north along the ridge of the remaining roof above the southern portion of Unit #20.



Photograph 21) – Roof overview looking northeast at the field zone of the east slope of the roof above the southern portion of Unit #20.



Photograph 22) – Roof overview looking northeast at the field zone of the west slope of the roof above the southern portion of Unit #20.



Photograph 23) – Close-up view of the three-tab, asphalt shingles above Unit #20 with an approximate exposure of 5 inches tall by 36 inches wide.



Photograph 24) – View looking south in the attic space above the southern portion of Unit #20. Right arrow indicates the separation wall between Unit #19. Middle and left arrows indicate fire-related effects from smoke.



Photograph 25) – View looking east at the wood roof framing system above the southern portion of Unit #20. Arrows indicate fire-related effects from smoke.



Photograph 26) – View looking southeast at pre-engineered Trusses 1 through 7 above the southern portion of Unit #20. Arrows indicate fire-related effects from smoke.



Photograph 27) – View looking southwest at pre-engineered Trusses 1 through 7 above the southern portion of Unit #20. Arrows indicate fire-related effects from smoke.



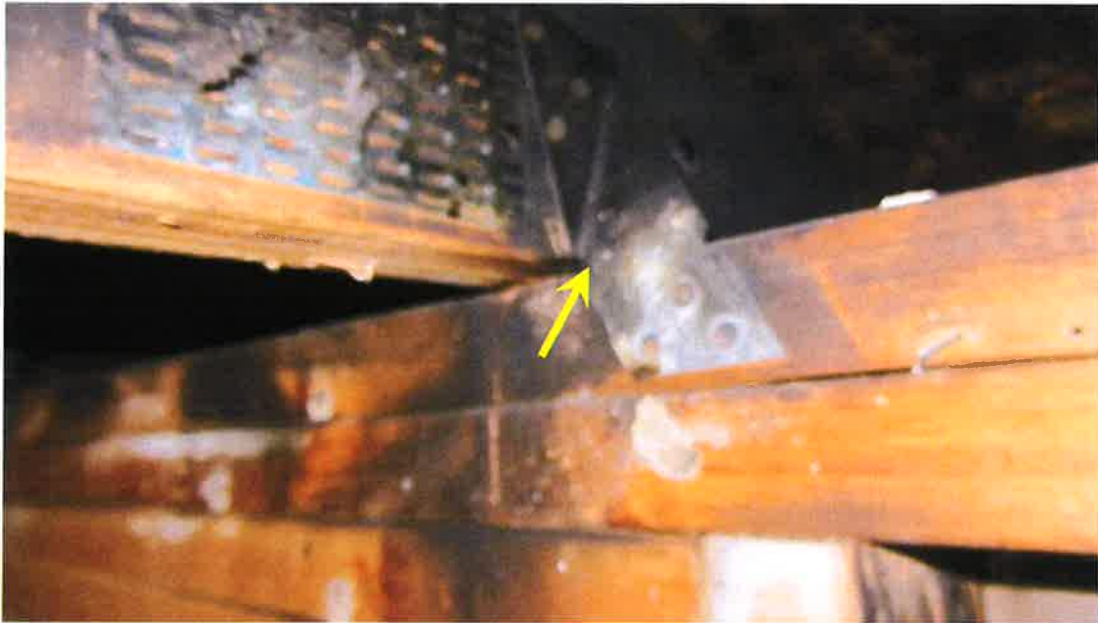
Photograph 28) – Close-up view of the fire-related effects from smoke on the pre-engineered wood truss and OSB sheathing.



Photograph 29) – Close-up view of a pre-engineered wood truss above Unit #20 with fire-related effects from smoke. No structural damage was found when probed with the awl.



Photograph 30) – View of the east end of Truss 2 at the southern portion of Unit #20 and the connection to the top plate of the exterior wall. Arrows indicate fire-related effects from smoke.



Photograph 31) – Close-up view of a metal tie-down fastener connection of the wood truss and the top plate of the exterior wall. No fire-related damage was observed.



Photograph 32) – View looking west at the front entry foyer of Unit #20.



Photograph 33) – Close-up view the upper exterior wall at the front entry foyer of Unit #20. Arrow indicates fire-related damage to the wood ceiling framing.



Photograph 34) – Close-up view of OSB sheathing and wood roof and ceiling framing above the front entry foyer of Unit #20 requiring replacement.



Photograph 35) – Close-up view of OSB sheathing and wood roof and ceiling framing above the front entry foyer of Unit #20 requiring replacement.



Photograph 36) – Close-up view of the east face of the double 2x12 wood header beam at the front entry foyer of Unit #20 requiring repair.



Photograph 37) – Close-up view of the west face of the double 2x12 wood header beam at the front entry foyer of Unit #20 requiring repair.



Photograph 38) – Interior view of the exterior load-bearing walls at the southeast corner of Unit #20. A hole in the sheathing requiring repair is visible with the backside of the exterior brick cladding visible.



Photograph 39) – Interior view of the exterior load-bearing wall framing.



Photograph 40) – Interior view at a header and exterior load-bearing wall framing at the front elevation. Arrows indicate fire-related effects from smoke at the top plate of the wall.



Photograph 41) – Interior view looking southwest at interior partition wall and the rear exterior load-bearing wall at Unit #22. Top left arrow indicates damage to the top plate of the partition wall requiring replacement. Remaining arrows indicate fire-related effects from smoke.



Photograph 42) – Interior view looking northwest at interior partition wall (right) and the rear exterior load-bearing wall of Unit #21. Arrows indicate upper portion of rear load-bearing wall framing system and interior partition requiring replacement.



Photograph 43) – Interior view looking southwest at interior partition wall (left) and the rear exterior load-bearing wall of Unit #21. Arrows indicate upper portion of rear load-bearing wall framing system and interior partition requiring replacement.



Photograph 44) – Interior view of exterior load-bearing walls at the front of Unit #21. Arrow indicates roof truss requiring replacement.



Photograph 45) – Interior view of the lower portion of the front exterior load-bearing wall framing at Unit #21 and #22. No repairs required.



Photograph 46) – Interior view of the lower portion of the rear exterior load-bearing wall framing at Unit #22. No repairs required.



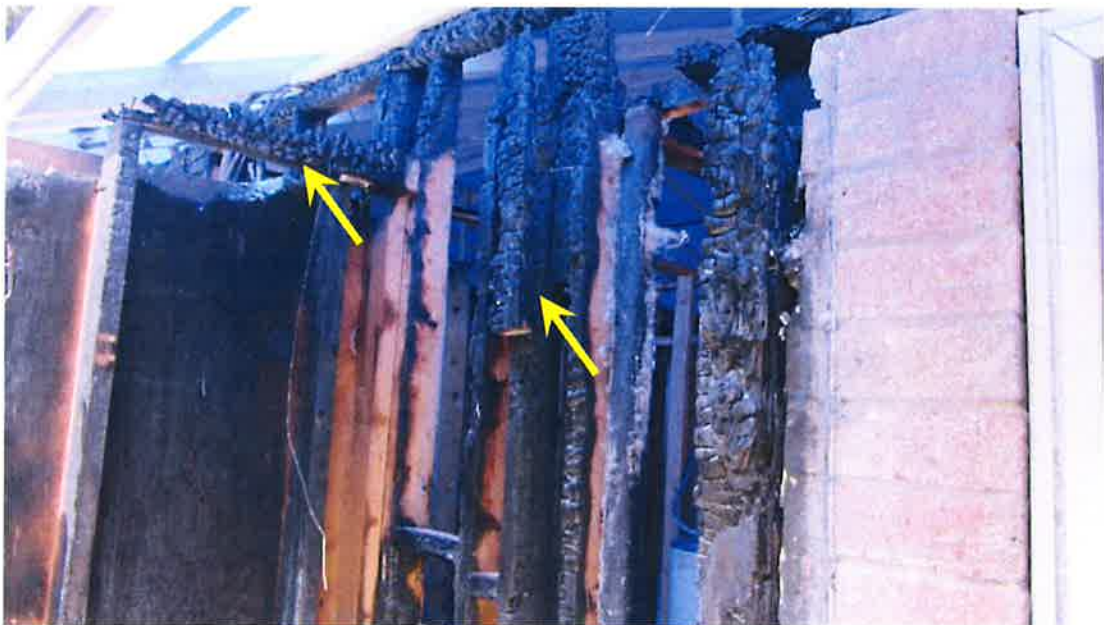
Photograph 47) – View of the upper portion of an interior partition wall in Unit #21 with fire-related damage requiring replacement.



Photograph 48) – View looking north at the lower portion of interior partition walls in Units #21 and #22. No repairs required.



Photograph 49) – View looking north at the exterior utility closet at the rear of Unit #21. Arrows indicate fire-related damage to the upper portion of the wall framing system requiring replacement.



Photograph 50) – View looking northeast at the exterior utility closet at the rear of Unit #21. Arrows indicate fire-related damage to the upper portion of the wall framing system requiring replacement.



Photograph 51) – View looking northwest at the exterior utility closet at the rear of Unit #21. Arrows indicate fire-related damage to the upper portion of the wall framing system requiring replacement.



Photograph 52) – View looking south at the exterior utility closet at the rear of Unit #22. Arrows indicate the lower portion of the wall framing system with no fire-related effects or damage.



Photograph 53) – View looking southwest at the exterior utility closet at the rear of Unit #22. Arrows indicate fire-related damage to the upper portion of the wall framing system requiring replacement.



Photograph 54) – View looking southeast at the exterior utility closet at the rear of Unit #22. Arrows indicate fire-related damage to the upper portion of the wall framing system requiring replacement.



Photograph 55) – View looking at the exterior utility closet at the rear of Unit #22. Arrows indicate the lower portion of the wall framing system with no fire-related effects or damage.



Photograph 56) – View of the exterior brick cladding. Fire-related effects from smoke shown with arrows.



Photograph 57) – View of the exterior brick cladding at the front entry foyer of Unit #21. Fire-related effects from smoke shown with arrows.



Photograph 58) – Close-up view of the exterior brick cladding at the front entry foyer of Unit #21. Fire-related effects from smoke shown with arrows.



Photograph 59) – View of the exterior brick cladding at the rear exterior wall of Unit #21. Fire-related effects from smoke shown with arrows.



Photograph 60) – View of the exterior brick cladding at the front entry foyer of Unit #22. Fire-related effects from smoke shown with arrows.



Photograph 61) – Close-up view of the rear exterior utility closet at Unit #21. Arrow indicates backside of brick cladding with fire-related effects. No repair required.



Photograph 62) – View looking east at the rear exterior brick cladding at Unit #21. Repair of missing brick required.



Photograph 63) – View of the exterior brick cladding at the rear of Unit #22. Fire-related effects from smoke shown with arrows.



Photograph 64) – View of the exterior brick cladding at the rear of Unit #22. Fire-related effects from smoke shown with arrows.

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2021-06-01-1240

Roof

Main Level

Main Level

DESCRIPTION	QTY
1. R&R Truss - 4/12 slope	2472.50 LF
2. R&R Sheathing - OSB - 1/2"	5536.14 SF
3. 2" x 4" x 20' #2 & better Fir / Larch (material only)	6.00 EA
4. 2" x 4" x 16' #2 & better Fir / Larch (material only)	2.00 EA
5. 2" x 4" x 92 5/8" pre-cut stud (for 8' wall, mat only)	20.00 EA
6. R&R Sheathing - OSB - 1/2"	214.00 SF
7. R&R Labor to frame 2" x 4" non-bearing wall - 16" oc	214.00 SF

NOTES:

19

Main Level



Living Room

Height: 8'

293.33 SF Walls	144.96 SF Ceiling
438.29 SF Walls & Ceiling	144.96 SF Floor
16.11 SY Flooring	36.67 LF Floor Perimeter
36.67 LF Ceil. Perimeter	

Missing Wall

11' 10" X 8'

Opens into HALLWAY

DESCRIPTION	QTY
1,474. Floor protection - heavy paper and tape	144.96 SF
1,475. Mask wall - plastic, paper, tape (per LF)	36.67 LF
1,476. Furring strip - 1" x 2" - applied to concrete	146.67 SF
1,477. Reflective multi-layer foil insulation - R-7+	146.67 SF
1,478. 1/2" drywall - hung, taped, floated, ready for paint	438.29 SF
1,479. Drywall Installer / Finisher - per hour	8.00 HR
1,480. Blown-in insulation - 10" depth - R26	144.96 SF
1,481. Embossing leveler for vinyl flooring	144.96 SF

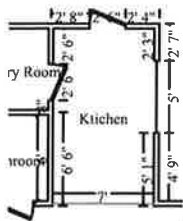
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CONTINUED - Living Room

DESCRIPTION	QTY
1,482. Vinyl floor covering (sheet goods) 15 % waste added for Vinyl floor covering (sheet goods).	166.70 SF
1,483. Baseboard - 3 1/4"	36.67 LF
1,484. Mask and prep for paint - plastic, paper, tape (per LF)	36.67 LF
1,485. Paint the walls - two coats	293.33 SF
1,486. Paint acoustic ceiling (popcorn) texture - 1 coat	144.96 SF
1,487. Paint baseboard - two coats	36.67 LF
1,488. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,489. Outlet or switch cover	4.00 EA
1,490. Outlet	5.00 EA
1,491. Light fixture	1.00 EA
1,492. Smoke detector	1.00 EA
1,493. Rewire - average residence - copper wiring with conduit	144.96 SF
1,494. Final cleaning - construction - Residential	144.96 SF

NOTES:



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Height: 8'

253.33 SF Walls	85.17 SF Ceiling
338.50 SF Walls & Ceiling	85.17 SF Floor
9.46 SY Flooring	31.67 LF Floor Perimeter
31.67 LF Ceil. Perimeter	

Missing Wall

7' X 8'

Opens into HALLWAY

DESCRIPTION	QTY
1,495. R&R Furring strip - 1" x 2" - applied to concrete	126.67 SF
1,496. R&R Reflective multi-layer foil insulation - R-7+	126.67 SF
1,497. Mask wall - plastic, paper, tape (per LF)	31.67 LF
1,498. 1/2" drywall - hung, taped, floated, ready for paint	253.33 SF

CONTINUED - Kitchen

DESCRIPTION	QTY
1,499. Drywall Installer / Finisher - per hour	8.00 HR
1,500. Cabinetry - lower (base) units	14.83 LF
1,501. Cabinetry - upper (wall) units	14.10 LF
1,502. Countertop - flat laid plastic laminate	14.10 LF
1,503. 4" backsplash for flat laid countertop	14.83 LF
1,504. Range - electric - Reset	1.00 EA
1,505. Install Range hood	1.00 EA
1,506. Install Sink - single	1.00 EA
1,507. Suspended ceiling grid - 2' x 2'	85.17 SF
1,508. Suspended ceiling tile - 2' x 2'	85.17 SF
1,509. Fluorescent - acoustic grid fixture - four tube, 2'x 4'	1.00 EA
1,510. Window blind - PVC - 3.5" - 32.1 to 42 SF	1.00 EA
1,511. Baseboard - 3 1/4"	8.00 LF
1,512. Outlet or switch cover	6.00 EA
1,513. Outlet	3.00 EA
1,514. Ground fault interrupter (GFI) outlet	3.00 EA
1,515. Mask and prep for paint - plastic, paper, tape (per LF)	31.67 LF
1,516. Paint the walls - two coats	253.33 SF
1,517. Paint baseboard - two coats	31.67 LF
1,518. Vinyl floor covering (sheet goods)	97.94 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,519. Rewire - average residence - copper wiring with conduit	85.17 SF
1,520. Final cleaning - construction - Residential	85.17 SF

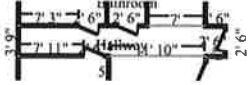
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Hallway

Height: 8'



310.67 SF Walls	89.98 SF Ceiling
400.65 SF Walls & Ceiling	89.98 SF Floor
10.00 SY Flooring	38.83 LF Floor Perimeter
38.83 LF Ceil. Perimeter	

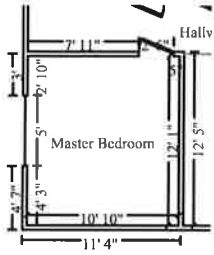
Missing Wall 11' 10" X 8' Opens into LIVING_ROOM
 Missing Wall 7' X 8' Opens into KTICHEN

DESCRIPTION	QTY
1,521. Floor protection - heavy paper and tape	89.98 SF
1,522. Mask wall - plastic, paper, tape (per LF)	38.83 LF
1,523. 1/2" drywall - hung, taped, floated, ready for paint	400.65 SF
1,524. Drywall Installer / Finisher - per hour	8.00 HR
1,525. Blown-in insulation - 10" depth - R26	89.98 SF
1,526. Attic entrance cover and trim	1.00 EA
1,527. Casing - 3 1/4"	85.00 LF
1,528. Embossing leveler for vinyl flooring	89.98 SF
1,529. Vinyl floor covering (sheet goods)	103.48 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,530. Baseboard - 3 1/4"	38.83 LF
1,531. Mask and prep for paint - plastic, paper, tape (per LF)	38.83 LF
1,532. Paint the walls - two coats	310.67 SF
1,533. Paint acoustic ceiling (popcorn) texture - 1 coat	89.98 SF
1,534. Paint baseboard - two coats	38.83 LF
1,535. Paint door/window trim & jamb - 2 coats (per side)	6.00 EA
1,536. Paint door slab only - 2 coats (per side)	6.00 EA
1,537. Smoke detector	1.00 EA
1,538. Outlet	2.00 EA
1,539. Switch	2.00 EA
1,540. Outlet or switch cover	2.00 EA
1,541. Light fixture	1.00 EA
1,542. R&R Wall heater	1.00 EA
1,543. Rewire - average residence - copper wiring with conduit	89.98 SF
1,544. Final cleaning - construction - Residential	89.98 SF

NOTES:

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Master Bedroom

Height: 8'

366.67 SF Walls	130.90 SF Ceiling
497.57 SF Walls & Ceiling	130.90 SF Floor
14.54 SY Flooring	45.83 LF Floor Perimeter
45.83 LF Ceil. Perimeter	

DESCRIPTION

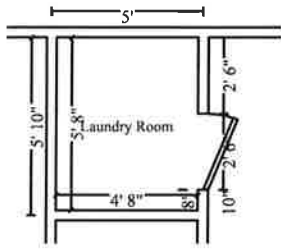
QTY

1,545. Floor protection - heavy paper and tape	130.90 SF
1,546. Mask wall - plastic, paper, tape (per LF)	45.83 LF
1,547. Furring strip - 1" x 2" - applied to concrete	183.33 SF
1,548. Reflective multi-layer foil insulation - R-7+	183.33 SF
1,549. 1/2" drywall - hung, taped, floated, ready for paint	497.57 SF
1,550. Drywall Installer / Finisher - per hour	8.00 HR
1,551. Blown-in insulation - 10" depth - R26	130.90 SF
1,552. Embossing leveler for vinyl flooring	130.90 SF
1,553. Vinyl floor covering (sheet goods)	150.54 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,554. Baseboard - 3 1/4"	45.83 LF
1,555. Mask and prep for paint - plastic, paper, tape (per LF)	45.83 LF
1,556. Paint the walls - two coats	366.67 SF
1,557. Paint acoustic ceiling (popcorn) texture - 1 coat	130.90 SF
1,558. Paint baseboard - two coats	45.83 LF
1,559. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,560. Outlet or switch cover	4.00 EA
1,561. Outlet	5.00 EA
1,562. Light fixture	1.00 EA
1,563. Smoke detector	1.00 EA
1,564. Rewire - average residence - copper wiring with conduit	130.90 SF
1,565. Final cleaning - construction - Residential	130.90 SF

NOTES:

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Laundry Room

Height: 8'

165.33 SF Walls	26.44 SF Ceiling
191.78 SF Walls & Ceiling	26.44 SF Floor
2.94 SY Flooring	20.67 LF Floor Perimeter
20.67 LF Ceil. Perimeter	

DESCRIPTION

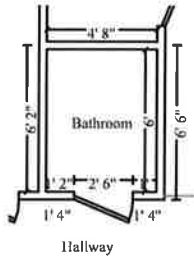
QTY

1,566. Floor protection - heavy paper and tape	26.44 SF
1,567. Mask wall - plastic, paper, tape (per LF)	20.67 LF
1,568. Furring strip - 1" x 2" - applied to concrete	82.67 SF
1,569. Reflective multi-layer foil insulation - R-7+	82.67 SF
1,570. 1/2" drywall - hung, taped, floated, ready for paint	191.78 SF
1,571. Drywall Installer / Finisher - per hour	8.00 HR
1,572. Blown-in insulation - 10" depth - R26	26.44 SF
1,573. Embossing leveler for vinyl flooring	26.44 SF
1,574. Vinyl floor covering (sheet goods)	30.41 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,575. Baseboard - 3 1/4"	20.67 LF
1,576. Mask and prep for paint - plastic, paper, tape (per LF)	20.67 LF
1,577. Paint the walls - two coats	165.33 SF
1,578. Paint acoustic ceiling (popcorn) texture - 1 coat	26.44 SF
1,579. Paint baseboard - two coats	20.67 LF
1,580. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,581. Outlet or switch cover	4.00 EA
1,582. Outlet	5.00 EA
1,583. Light fixture	1.00 EA
1,584. Smoke detector	1.00 EA
1,585. Rewire - average residence - copper wiring with conduit	26.44 SF
1,586. Final cleaning - construction - Residential	26.44 SF

NOTES:

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Bathroom

Height: 8'

170.67 SF Walls	28.00 SF Ceiling
198.67 SF Walls & Ceiling	28.00 SF Floor
3.11 SY Flooring	21.33 LF Floor Perimeter
21.33 LF Ceil. Perimeter	

DESCRIPTION

QTY

1,587. Floor protection - heavy paper and tape	28.00 SF
1,588. Mask wall - plastic, paper, tape (per LF)	21.33 LF
1,589. Furring strip - 1" x 2" - applied to concrete	42.67 SF
1,590. Reflective multi-layer foil insulation - R-7+	42.67 SF
1,591. 1/2" drywall - hung, taped, floated, ready for paint	114.67 SF
1,592. Drywall Installer / Finisher - per hour	6.00 HR
1,593. Blown-in insulation - 10" depth - R26	28.00 SF
1,594. Mask and prep for paint - plastic, paper, tape (per LF)	21.33 LF
1,595. Paint the walls and ceiling - two coats	198.67 SF
1,596. Outlet or switch cover	2.00 EA
1,597. Exhaust fan	1.00 EA
1,598. Light fixture	1.00 EA
1,599. Switch	1.00 EA
1,600. Ground fault interrupter (GFI) outlet	1.00 EA
1,601. Toilet	1.00 EA
1,602. Rewire - average residence - copper wiring with conduit	28.00 SF
1,603. Bathtub	1.00 EA
1,604. 1/2" Cement board	84.00 SF
1,605. Tile tub surround - 60 to 75 SF	1.00 EA
1,606. Tile floor covering	28.00 SF
1,607. Tile base	21.33 LF
1,608. Sink - single bowl - Detach	1.00 EA
1,609. Vanity	2.00 LF
1,610. Vanity top - one sink - cultured marble	2.00 LF
1,611. P-trap assembly - ABS (plastic)	1.00 EA
1,612. Plumbing fixture supply line	1.00 EA
1,613. Final cleaning - construction - Residential	28.00 SF

NOTES:

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Bedroom 2

Height: 8'

361.33 SF Walls	127.00 SF Ceiling
488.33 SF Walls & Ceiling	127.00 SF Floor
14.11 SY Flooring	45.17 LF Floor Perimeter
45.17 LF Ceil. Perimeter	

DESCRIPTION

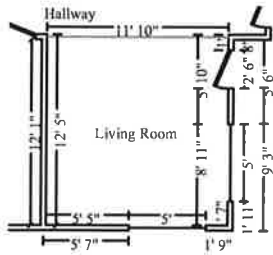
QTY

1,614. Floor protection - heavy paper and tape	127.00 SF
1,615. Mask wall - plastic, paper, tape (per LF)	45.17 LF
1,616. Furring strip - 1" x 2" - applied to concrete	180.67 SF
1,617. Reflective multi-layer foil insulation - R-7+	180.67 SF
1,618. 1/2" drywall - hung, taped, floated, ready for paint	488.33 SF
1,619. Drywall Installer / Finisher - per hour	8.00 HR
1,620. Blown-in insulation - 10" depth - R26	127.00 SF
1,621. Embossing leveler for vinyl flooring	127.00 SF
1,622. Vinyl floor covering (sheet goods)	146.05 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,623. Baseboard - 3 1/4"	45.17 LF
1,624. Mask and prep for paint - plastic, paper, tape (per LF)	45.17 LF
1,625. Paint the walls - two coats	361.33 SF
1,626. Paint acoustic ceiling (popcorn) texture - 1 coat	127.00 SF
1,627. Paint baseboard - two coats	45.17 LF
1,628. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,629. Outlet or switch cover	4.00 EA
1,630. Outlet	5.00 EA
1,631. Light fixture	1.00 EA
1,632. Smoke detector	1.00 EA
1,633. Rewire - average residence - copper wiring with conduit	127.00 SF
1,634. Final cleaning - construction - Residential	127.00 SF

NOTES:

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Living Room

Height: 8'

293.33 SF Walls	144.96 SF Ceiling
438.29 SF Walls & Ceiling	144.96 SF Floor
16.11 SY Flooring	36.67 LF Floor Perimeter
36.67 LF Ceil. Perimeter	

Missing Wall

11' 10" X 8'

Opens into HALLWAY

DESCRIPTION

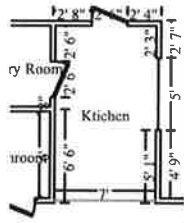
QTY

1,313. Floor protection - heavy paper and tape	144.96 SF
1,314. Mask wall - plastic, paper, tape (per LF)	36.67 LF
1,315. Furring strip - 1" x 2" - applied to concrete	146.67 SF
1,316. Reflective multi-layer foil insulation - R-7+	146.67 SF
1,317. 1/2" drywall - hung, taped, floated, ready for paint	438.29 SF
1,318. Drywall Installer / Finisher - per hour	8.00 HR
1,319. Blown-in insulation - 10" depth - R26	144.96 SF
1,320. Embossing leveler for vinyl flooring	144.96 SF
1,321. Vinyl floor covering (sheet goods)	166.70 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,322. Baseboard - 3 1/4"	36.67 LF
1,323. Mask and prep for paint - plastic, paper, tape (per LF)	36.67 LF
1,324. Paint the walls - two coats	293.33 SF
1,325. Paint acoustic ceiling (popcorn) texture - 1 coat	144.96 SF
1,326. Paint baseboard - two coats	36.67 LF
1,327. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,328. Outlet or switch cover	4.00 EA
1,329. Outlet	5.00 EA
1,330. Light fixture	1.00 EA
1,331. Smoke detector	1.00 EA
1,332. Rewire - average residence - copper wiring with conduit	144.96 SF
1,333. Final cleaning - construction - Residential	144.96 SF

NOTES:

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Ktichen

Height: 8'

253.33 SF Walls	85.17 SF Ceiling
338.50 SF Walls & Ceiling	85.17 SF Floor
9.46 SY Flooring	31.67 LF Floor Perimeter
31.67 LF Ceil. Perimeter	

Missing Wall

7' X 8'

Opens into HALLWAY

DESCRIPTION

QTY

1,334. R&R Furring strip - 1" x 2" - applied to concrete	126.67 SF
1,335. R&R Reflective multi-layer foil insulation - R-7+	126.67 SF
1,336. Mask wall - plastic, paper, tape (per LF)	31.67 LF
1,337. 1/2" drywall - hung, taped, floated, ready for paint	253.33 SF
1,338. Drywall Installer / Finisher - per hour	8.00 HR
1,339. Cabinetry - lower (base) units	14.83 LF
1,340. Cabinetry - upper (wall) units	14.83 LF
1,341. Countertop - flat laid plastic laminate	14.10 LF
1,342. 4" backsplash for flat laid countertop	14.83 LF
1,343. Range - electric - Reset	1.00 EA
1,344. Install Range hood	1.00 EA
1,345. Install Sink - single	1.00 EA
1,346. Suspended ceiling grid - 2' x 2'	85.17 SF
1,347. Suspended ceiling tile - 2' x 2'	85.17 SF
1,348. Fluorescent - acoustic grid fixture - four tube, 2'x 4'	1.00 EA
1,349. Window blind - PVC - 3.5" - 32.1 to 42 SF	1.00 EA
1,350. Baseboard - 3 1/4"	8.00 LF
1,351. Outlet or switch cover	6.00 EA
1,352. Outlet	3.00 EA
1,353. Ground fault interrupter (GFI) outlet	3.00 EA
1,354. Mask and prep for paint - plastic, paper, tape (per LF)	31.67 LF
1,355. Paint the walls - two coats	253.33 SF
1,356. Paint baseboard - two coats	31.67 LF
1,357. Vinyl floor covering (sheet goods)	97.94 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,358. Rewire - average residence - copper wiring with conduit	85.17 SF
1,359. Final cleaning - construction - Residential	85.17 SF

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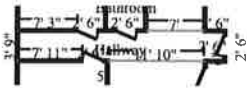
CONTINUED - Kitchen

DESCRIPTION **QTY**

NOTES:

Hallway

Height: 8'



310.67 SF Walls	89.98 SF Ceiling
400.65 SF Walls & Ceiling	89.98 SF Floor
10.00 SY Flooring	38.83 LF Floor Perimeter
38.83 LF Ceil. Perimeter	

Missing Wall	11' 10" X 8'	Opens into LIVING_ROOM
Missing Wall	7' X 8'	Opens into KTICHEN

DESCRIPTION **QTY**

1,360. Floor protection - heavy paper and tape	89.98 SF
1,361. Mask wall - plastic, paper, tape (per LF)	38.83 LF
1,362. 1/2" drywall - hung, taped, floated, ready for paint	400.65 SF
1,363. Drywall Installer / Finisher - per hour	8.00 HR
1,364. Blown-in insulation - 10" depth - R26	89.98 SF
1,365. Attic entrance cover and trim	1.00 EA
1,366. Casing - 3 1/4"	85.00 LF
1,367. Embossing leveler for vinyl flooring	89.98 SF
1,368. Vinyl floor covering (sheet goods)	103.48 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,369. Baseboard - 3 1/4"	38.83 LF
1,370. Mask and prep for paint - plastic, paper, tape (per LF)	38.83 LF
1,371. Paint the walls - two coats	310.67 SF
1,372. Paint acoustic ceiling (popcorn) texture - 1 coat	89.98 SF
1,373. Paint baseboard - two coats	38.83 LF
1,374. Paint door/window trim & jamb - 2 coats (per side)	6.00 EA
1,375. Paint door slab only - 2 coats (per side)	6.00 EA
1,376. Smoke detector	1.00 EA

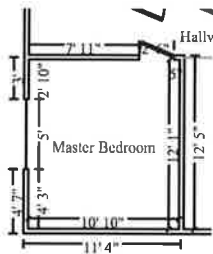
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CONTINUED - Hallway

DESCRIPTION	QTY
1,377. Outlet	2.00 EA
1,378. Switch	2.00 EA
1,379. Outlet or switch cover	2.00 EA
1,380. Light fixture	1.00 EA
1,381. R&R Wall heater	1.00 EA
1,382. Rewire - average residence - copper wiring with conduit	89.98 SF
1,383. Final cleaning - construction - Residential	89.98 SF

NOTES:



Master Bedroom

Height: 8'

366.67 SF Walls	130.90 SF Ceiling
497.57 SF Walls & Ceiling	130.90 SF Floor
14.54 SY Flooring	45.83 LF Floor Perimeter
45.83 LF Ceil. Perimeter	

DESCRIPTION	QTY
1,384. Floor protection - heavy paper and tape	130.90 SF
1,385. Mask wall - plastic, paper, tape (per LF)	45.83 LF
1,386. Furring strip - 1" x 2" - applied to concrete	183.33 SF
1,387. Reflective multi-layer foil insulation - R-7+	183.33 SF
1,388. 1/2" drywall - hung, taped, floated, ready for paint	497.57 SF
1,389. Drywall Installer / Finisher - per hour	8.00 HR
1,390. Blown-in insulation - 10" depth - R26	130.90 SF
1,391. Embossing leveler for vinyl flooring	130.90 SF
1,392. Vinyl floor covering (sheet goods)	150.54 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,393. Baseboard - 3 1/4"	45.83 LF
1,394. Mask and prep for paint - plastic, paper, tape (per LF)	45.83 LF

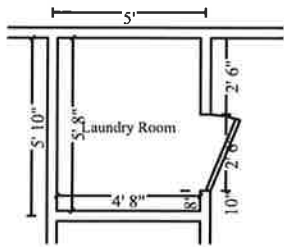
Gallagher Bassett

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CONTINUED - Master Bedroom

DESCRIPTION	QTY
1,395. Paint the walls - two coats	366.67 SF
1,396. Paint acoustic ceiling (popcorn) texture - 1 coat	130.90 SF
1,397. Paint baseboard - two coats	45.83 LF
1,398. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,399. Outlet or switch cover	4.00 EA
1,400. Outlet	5.00 EA
1,401. Light fixture	1.00 EA
1,402. Smoke detector	1.00 EA
1,403. Rewire - average residence - copper wiring with conduit	130.90 SF
1,404. Final cleaning - construction - Residential	130.90 SF

NOTES:



Laundry Room

Height: 8'

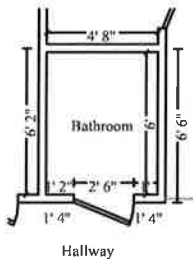
165.33 SF Walls	26.44 SF Ceiling
191.78 SF Walls & Ceiling	26.44 SF Floor
2.94 SY Flooring	20.67 LF Floor Perimeter
20.67 LF Ceil. Perimeter	

DESCRIPTION	QTY
1,405. Floor protection - heavy paper and tape	26.44 SF
1,406. Mask wall - plastic, paper, tape (per LF)	20.67 LF
1,407. Furring strip - 1" x 2" - applied to concrete	82.67 SF
1,408. Reflective multi-layer foil insulation - R-7+	82.67 SF
1,409. 1/2" drywall - hung, taped, floated, ready for paint	191.78 SF
1,410. Drywall Installer / Finisher - per hour	8.00 HR
1,411. Blown-in insulation - 10" depth - R26	26.44 SF
1,412. Embossing leveler for vinyl flooring	26.44 SF
1,413. Vinyl floor covering (sheet goods)	30.41 SF

CONTINUED - Laundry Room

DESCRIPTION	QTY
15 % waste added for Vinyl floor covering (sheet goods).	
1,414. Baseboard - 3 1/4"	20.67 LF
1,415. Mask and prep for paint - plastic, paper, tape (per LF)	20.67 LF
1,416. Paint the walls - two coats	165.33 SF
1,417. Paint acoustic ceiling (popcorn) texture - 1 coat	26.44 SF
1,418. Paint baseboard - two coats	20.67 LF
1,419. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,420. Outlet or switch cover	4.00 EA
1,421. Outlet	5.00 EA
1,422. Light fixture	1.00 EA
1,423. Smoke detector	1.00 EA
1,424. Rewire - average residence - copper wiring with conduit	26.44 SF
1,425. Final cleaning - construction - Residential	26.44 SF

NOTES:



Bathroom

Height: 8'

170.67 SF Walls	28.00 SF Ceiling
198.67 SF Walls & Ceiling	28.00 SF Floor
3.11 SY Flooring	21.33 LF Floor Perimeter
21.33 LF Ceil. Perimeter	

DESCRIPTION	QTY
1,426. Floor protection - heavy paper and tape	28.00 SF
1,427. Mask wall - plastic, paper, tape (per LF)	21.33 LF
1,428. Furring strip - 1" x 2" - applied to concrete	42.67 SF
1,429. Reflective multi-layer foil insulation - R-7+	42.67 SF
1,430. 1/2" drywall - hung, taped, floated, ready for paint	114.67 SF
1,431. Drywall Installer / Finisher - per hour	6.00 HR

CONTINUED - Bathroom

DESCRIPTION	QTY
1,432. Blown-in insulation - 10" depth - R26	28.00 SF
1,433. Mask and prep for paint - plastic, paper, tape (per LF)	21.33 LF
1,434. Paint the walls and ceiling - two coats	198.67 SF
1,435. Outlet or switch cover	2.00 EA
1,436. Exhaust fan	1.00 EA
1,437. Light fixture	1.00 EA
1,438. Switch	1.00 EA
1,439. Ground fault interrupter (GFI) outlet	1.00 EA
1,440. Toilet	1.00 EA
1,441. Rewire - average residence - copper wiring with conduit	28.00 SF
1,442. Bathtub	1.00 EA
1,443. 1/2" Cement board	84.00 SF
1,444. Tile tub surround - 60 to 75 SF	1.00 EA
1,445. Tile floor covering	28.00 SF
1,446. Tile base	21.33 LF
1,447. Sink - single bowl - Detach	1.00 EA
1,448. Vanity	2.00 LF
1,449. Vanity top - one sink - cultured marble	2.00 LF
1,450. P-trap assembly - ABS (plastic)	1.00 EA
1,451. Plumbing fixture supply line	1.00 EA
1,452. Final cleaning - construction - Residential	28.00 SF

NOTES:

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Bedroom 2

Height: 8'

361.33 SF Walls	127.00 SF Ceiling
488.33 SF Walls & Ceiling	127.00 SF Floor
14.11 SY Flooring	45.17 LF Floor Perimeter
45.17 LF Ceil. Perimeter	

DESCRIPTION

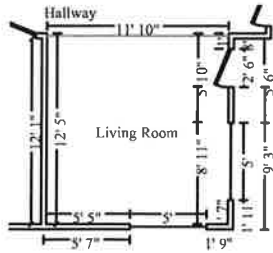
QTY

1,453. Floor protection - heavy paper and tape	127.00 SF
1,454. Mask wall - plastic, paper, tape (per LF)	45.17 LF
1,455. Furring strip - 1" x 2" - applied to concrete	180.67 SF
1,456. Reflective multi-layer foil insulation - R-7+	180.67 SF
1,457. 1/2" drywall - hung, taped, floated, ready for paint	488.33 SF
1,458. Drywall Installer / Finisher - per hour	8.00 HR
1,459. Blown-in insulation - 10" depth - R26	127.00 SF
1,460. Embossing leveler for vinyl flooring	127.00 SF
1,461. Vinyl floor covering (sheet goods)	146.05 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,462. Baseboard - 3 1/4"	45.17 LF
1,463. Mask and prep for paint - plastic, paper, tape (per LF)	45.17 LF
1,464. Paint the walls - two coats	361.33 SF
1,465. Paint acoustic ceiling (popcorn) texture - 1 coat	127.00 SF
1,466. Paint baseboard - two coats	45.17 LF
1,467. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,468. Outlet or switch cover	4.00 EA
1,469. Outlet	5.00 EA
1,470. Light fixture	1.00 EA
1,471. Smoke detector	1.00 EA
1,472. Rewire - average residence - copper wiring with conduit	127.00 SF
1,473. Final cleaning - construction - Residential	127.00 SF

NOTES:

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Living Room

Height: 8'

293.33 SF Walls	144.96 SF Ceiling
438.29 SF Walls & Ceiling	144.96 SF Floor
16.11 SY Flooring	36.67 LF Floor Perimeter
36.67 LF Ceil. Perimeter	

Missing Wall

11' 10" X 8'

Opens into HALLWAY

DESCRIPTION

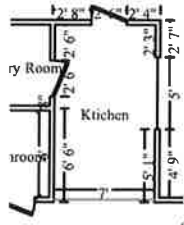
QTY

1,152. Floor protection - heavy paper and tape	144.96 SF
1,153. Mask wall - plastic, paper, tape (per LF)	36.67 LF
1,154. Furring strip - 1" x 2" - applied to concrete	146.67 SF
1,155. Reflective multi-layer foil insulation - R-7+	146.67 SF
1,156. 1/2" drywall - hung, taped, floated, ready for paint	438.29 SF
1,157. Drywall Installer / Finisher - per hour	8.00 HR
1,158. Blown-in insulation - 10" depth - R26	144.96 SF
1,159. Embossing leveler for vinyl flooring	144.96 SF
1,160. Vinyl floor covering (sheet goods)	166.70 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,161. Baseboard - 3 1/4"	36.67 LF
1,162. Mask and prep for paint - plastic, paper, tape (per LF)	36.67 LF
1,163. Paint the walls - two coats	293.33 SF
1,164. Paint acoustic ceiling (popcorn) texture - 1 coat	144.96 SF
1,165. Paint baseboard - two coats	36.67 LF
1,166. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,167. Outlet or switch cover	4.00 EA
1,168. Outlet	5.00 EA
1,169. Light fixture	1.00 EA
1,170. Smoke detector	1.00 EA
1,171. Rewire - average residence - copper wiring with conduit	144.96 SF
1,172. Final cleaning - construction - Residential	144.96 SF

NOTES:

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Ktichen

Height: 8'

253.33 SF Walls	85.17 SF Ceiling
338.50 SF Walls & Ceiling	85.17 SF Floor
9.46 SY Flooring	31.67 LF Floor Perimeter
31.67 LF Ceil. Perimeter	

Missing Wall

7' X 8'

Opens into HALLWAY

DESCRIPTION

QTY

1,173. R&R Furring strip - 1" x 2" - applied to concrete	126.67 SF
1,174. R&R Reflective multi-layer foil insulation - R-7+	126.67 SF
1,175. Mask wall - plastic, paper, tape (per LF)	31.67 LF
1,176. 1/2" drywall - hung, taped, floated, ready for paint	253.33 SF
1,177. Drywall Installer / Finisher - per hour	8.00 HR
1,178. Cabinetry - lower (base) units	14.83 LF
1,179. Cabinetry - upper (wall) units	14.83 LF
1,180. Countertop - flat laid plastic laminate	14.10 LF
1,181. 4" backsplash for flat laid countertop	14.83 LF
1,182. Range - electric - Reset	1.00 EA
1,183. Install Range hood	1.00 EA
1,184. Install Sink - single	1.00 EA
1,185. Suspended ceiling grid - 2' x 2'	85.17 SF
1,186. Suspended ceiling tile - 2' x 2'	85.17 SF
1,187. Fluorescent - acoustic grid fixture - four tube, 2'x 4'	1.00 EA
1,188. Window blind - PVC - 3.5" - 32.1 to 42 SF	1.00 EA
1,189. Baseboard - 3 1/4"	8.00 LF
1,190. Outlet or switch cover	6.00 EA
1,191. Outlet	3.00 EA
1,192. Ground fault interrupter (GFI) outlet	3.00 EA
1,193. Mask and prep for paint - plastic, paper, tape (per LF)	31.67 LF
1,194. Paint the walls - two coats	253.33 SF
1,195. Paint baseboard - two coats	31.67 LF
1,196. Vinyl floor covering (sheet goods)	97.94 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,197. Rewire - average residence - copper wiring with conduit	85.17 SF
1,198. Final cleaning - construction - Residential	85.17 SF

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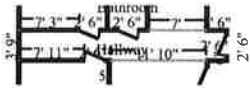
CONTINUED - Ktichen

DESCRIPTION **QTY**

NOTES:

Hallway

Height: 8'



310.67 SF Walls	89.98 SF Ceiling
400.65 SF Walls & Ceiling	89.98 SF Floor
10.00 SY Flooring	38.83 LF Floor Perimeter
38.83 LF Ceil. Perimeter	

Missing Wall

11' 10" X 8'

Opens into LIVING_ROOM

Missing Wall

7' X 8'

Opens into KTICHEN

DESCRIPTION **QTY**

1,199. Floor protection - heavy paper and tape	89.98 SF
1,200. Mask wall - plastic, paper, tape (per LF)	38.83 LF
1,201. 1/2" drywall - hung, taped, floated, ready for paint	400.65 SF
1,202. Drywall Installer / Finisher - per hour	8.00 HR
1,203. Blown-in insulation - 10" depth - R26	89.98 SF
1,204. Attic entrance cover and trim	1.00 EA
1,205. Casing - 3 1/4"	85.00 LF
1,206. Embossing leveler for vinyl flooring	89.98 SF
1,207. Vinyl floor covering (sheet goods)	103.48 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,208. Baseboard - 3 1/4"	38.83 LF
1,209. Mask and prep for paint - plastic, paper, tape (per LF)	38.83 LF
1,210. Paint the walls - two coats	310.67 SF
1,211. Paint acoustic ceiling (popcorn) texture - 1 coat	89.98 SF
1,212. Paint baseboard - two coats	38.83 LF
1,213. Paint door/window trim & jamb - 2 coats (per side)	6.00 EA
1,214. Paint door slab only - 2 coats (per side)	6.00 EA
1,215. Smoke detector	1.00 EA

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CONTINUED - Hallway

DESCRIPTION	QTY
1,216. Outlet	2.00 EA
1,217. Switch	2.00 EA
1,218. Outlet or switch cover	2.00 EA
1,219. Light fixture	1.00 EA
1,220. R&R Wall heater	1.00 EA
1,221. Rewire - average residence - copper wiring with conduit	89.98 SF
1,222. Final cleaning - construction - Residential	89.98 SF

NOTES:



Master Bedroom

Height: 8'

366.67 SF Walls	130.90 SF Ceiling
497.57 SF Walls & Ceiling	130.90 SF Floor
14.54 SY Flooring	45.83 LF Floor Perimeter
45.83 LF Ceil. Perimeter	

DESCRIPTION	QTY
1,223. Floor protection - heavy paper and tape	130.90 SF
1,224. Mask wall - plastic, paper, tape (per LF)	45.83 LF
1,225. Furring strip - 1" x 2" - applied to concrete	183.33 SF
1,226. Reflective multi-layer foil insulation - R-7+	183.33 SF
1,227. 1/2" drywall - hung, taped, floated, ready for paint	497.57 SF
1,228. Drywall Installer / Finisher - per hour	8.00 HR
1,229. Blown-in insulation - 10" depth - R26	130.90 SF
1,230. Embossing leveler for vinyl flooring	130.90 SF
1,231. Vinyl floor covering (sheet goods)	150.54 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,232. Baseboard - 3 1/4"	45.83 LF
1,233. Mask and prep for paint - plastic, paper, tape (per LF)	45.83 LF

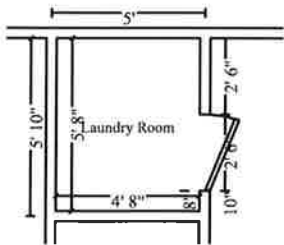
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CONTINUED - Master Bedroom

DESCRIPTION	QTY
1,234. Paint the walls - two coats	366.67 SF
1,235. Paint acoustic ceiling (popcorn) texture - 1 coat	130.90 SF
1,236. Paint baseboard - two coats	45.83 LF
1,237. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,238. Outlet or switch cover	4.00 EA
1,239. Outlet	5.00 EA
1,240. Light fixture	1.00 EA
1,241. Smoke detector	1.00 EA
1,242. Rewire - average residence - copper wiring with conduit	130.90 SF
1,243. Final cleaning - construction - Residential	130.90 SF

NOTES:



Laundry Room

Height: 8'

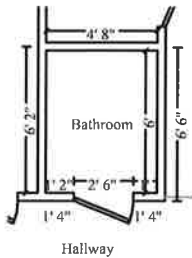
165.33 SF Walls	26.44 SF Ceiling
191.78 SF Walls & Ceiling	26.44 SF Floor
2.94 SY Flooring	20.67 LF Floor Perimeter
20.67 LF Ceil. Perimeter	

DESCRIPTION	QTY
1,244. Floor protection - heavy paper and tape	26.44 SF
1,245. Mask wall - plastic, paper, tape (per LF)	20.67 LF
1,246. Furring strip - 1" x 2" - applied to concrete	82.67 SF
1,247. Reflective multi-layer foil insulation - R-7+	82.67 SF
1,248. 1/2" drywall - hung, taped, floated, ready for paint	191.78 SF
1,249. Drywall Installer / Finisher - per hour	8.00 HR
1,250. Blown-in insulation - 10" depth - R26	26.44 SF
1,251. Embossing leveler for vinyl flooring	26.44 SF
1,252. Vinyl floor covering (sheet goods)	30.41 SF

CONTINUED - Laundry Room

DESCRIPTION	QTY
15 % waste added for Vinyl floor covering (sheet goods).	
1,253. Baseboard - 3 1/4"	20.67 LF
1,254. Mask and prep for paint - plastic, paper, tape (per LF)	20.67 LF
1,255. Paint the walls - two coats	165.33 SF
1,256. Paint acoustic ceiling (popcorn) texture - 1 coat	26.44 SF
1,257. Paint baseboard - two coats	20.67 LF
1,258. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,259. Outlet or switch cover	4.00 EA
1,260. Outlet	5.00 EA
1,261. Light fixture	1.00 EA
1,262. Smoke detector	1.00 EA
1,263. Rewire - average residence - copper wiring with conduit	26.44 SF
1,264. Final cleaning - construction - Residential	26.44 SF

NOTES:



Bathroom

Height: 8'

170.67 SF Walls	28.00 SF Ceiling
198.67 SF Walls & Ceiling	28.00 SF Floor
3.11 SY Flooring	21.33 LF Floor Perimeter
21.33 LF Ceil. Perimeter	

DESCRIPTION	QTY
1,265. Floor protection - heavy paper and tape	28.00 SF
1,266. Mask wall - plastic, paper, tape (per LF)	21.33 LF
1,267. Furring strip - 1" x 2" - applied to concrete	42.67 SF
1,268. Reflective multi-layer foil insulation - R-7+	42.67 SF
1,269. 1/2" drywall - hung, taped, floated, ready for paint	114.67 SF
1,270. Drywall Installer / Finisher - per hour	6.00 HR

CONTINUED - Bathroom

DESCRIPTION	QTY
1,271. Blown-in insulation - 10" depth - R26	28.00 SF
1,272. Mask and prep for paint - plastic, paper, tape (per LF)	21.33 LF
1,273. Paint the walls and ceiling - two coats	198.67 SF
1,274. Outlet or switch cover	2.00 EA
1,275. Exhaust fan	1.00 EA
1,276. Light fixture	1.00 EA
1,277. Switch	1.00 EA
1,278. Ground fault interrupter (GFI) outlet	1.00 EA
1,279. Toilet	1.00 EA
1,280. Rewire - average residence - copper wiring with conduit	28.00 SF
1,281. Bathtub	1.00 EA
1,282. 1/2" Cement board	84.00 SF
1,283. Tile tub surround - 60 to 75 SF	1.00 EA
1,284. Tile floor covering	28.00 SF
1,285. Tile base	21.33 LF
1,286. Sink - single bowl - Detach	1.00 EA
1,287. Vanity	2.00 LF
1,288. Vanity top - one sink - cultured marble	2.00 LF
1,289. P-trap assembly - ABS (plastic)	1.00 EA
1,290. Plumbing fixture supply line	1.00 EA
1,291. Final cleaning - construction - Residential	28.00 SF

NOTES:

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Bedroom 2

Height: 8'

361.33 SF Walls	127.00 SF Ceiling
488.33 SF Walls & Ceiling	127.00 SF Floor
14.11 SY Flooring	45.17 LF Floor Perimeter
45.17 LF Ceil. Perimeter	

DESCRIPTION

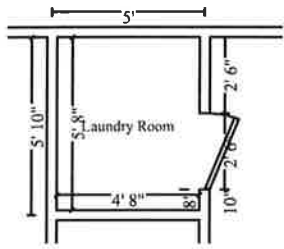
QTY

1,292. Floor protection - heavy paper and tape	127.00 SF
1,293. Mask wall - plastic, paper, tape (per LF)	45.17 LF
1,294. Furring strip - 1" x 2" - applied to concrete	180.67 SF
1,295. Reflective multi-layer foil insulation - R-7+	180.67 SF
1,296. 1/2" drywall - hung, taped, floated, ready for paint	488.33 SF
1,297. Drywall Installer / Finisher - per hour	8.00 HR
1,298. Blown-in insulation - 10" depth - R26	127.00 SF
1,299. Embossing leveler for vinyl flooring	127.00 SF
1,300. Vinyl floor covering (sheet goods)	146.05 SF
15 % waste added for Vinyl floor covering (sheet goods).	
1,301. Baseboard - 3 1/4"	45.17 LF
1,302. Mask and prep for paint - plastic, paper, tape (per LF)	45.17 LF
1,303. Paint the walls - two coats	361.33 SF
1,304. Paint acoustic ceiling (popcorn) texture - 1 coat	127.00 SF
1,305. Paint baseboard - two coats	45.17 LF
1,306. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
1,307. Outlet or switch cover	4.00 EA
1,308. Outlet	5.00 EA
1,309. Light fixture	1.00 EA
1,310. Smoke detector	1.00 EA
1,311. Rewire - average residence - copper wiring with conduit	127.00 SF
1,312. Final cleaning - construction - Residential	127.00 SF

NOTES:

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Laundry Room

Height: 8'

165.33 SF Walls	26.44 SF Ceiling
191.78 SF Walls & Ceiling	26.44 SF Floor
2.94 SY Flooring	20.67 LF Floor Perimeter
20.67 LF Ceil. Perimeter	

DESCRIPTION

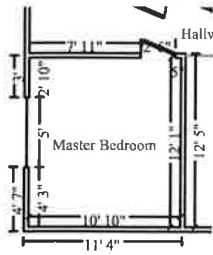
QTY

491. Floor protection - heavy paper and tape	26.44 SF
492. Mask wall - plastic, paper, tape (per LF)	20.67 LF
493. Furring strip - 1" x 2" - applied to concrete	82.67 SF
494. Reflective multi-layer foil insulation - R-7+	82.67 SF
495. 1/2" drywall - hung, taped, floated, ready for paint	191.78 SF
496. Drywall Installer / Finisher - per hour	8.00 HR
497. Blown-in insulation - 10" depth - R26	26.44 SF
498. Embossing leveler for vinyl flooring	26.44 SF
499. Vinyl floor covering (sheet goods)	30.41 SF
15 % waste added for Vinyl floor covering (sheet goods).	
500. Baseboard - 3 1/4"	20.67 LF
501. Mask and prep for paint - plastic, paper, tape (per LF)	20.67 LF
502. Paint the walls - two coats	165.33 SF
503. Paint acoustic ceiling (popcorn) texture - 1 coat	26.44 SF
504. Paint baseboard - two coats	20.67 LF
505. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
506. Outlet or switch cover	4.00 EA
507. Outlet	5.00 EA
508. Light fixture	1.00 EA
509. Smoke detector	1.00 EA
510. Rewire - average residence - copper wiring with conduit	26.44 SF
511. Final cleaning - construction - Residential	26.44 SF

NOTES:

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Master Bedroom

Height: 8'

366.67 SF Walls	130.90 SF Ceiling
497.57 SF Walls & Ceiling	130.90 SF Floor
14.54 SY Flooring	45.83 LF Floor Perimeter
45.83 LF Ceil. Perimeter	

DESCRIPTION

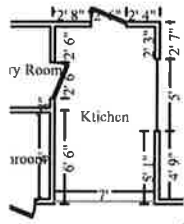
QTY

512. Floor protection - heavy paper and tape	130.90 SF
513. Mask wall - plastic, paper, tape (per LF)	45.83 LF
514. Furring strip - 1" x 2" - applied to concrete	183.33 SF
515. Reflective multi-layer foil insulation - R-7+	183.33 SF
516. 1/2" drywall - hung, taped, floated, ready for paint	497.57 SF
517. Drywall Installer / Finisher - per hour	8.00 HR
518. Blown-in insulation - 10" depth - R26	130.90 SF
519. Embossing leveler for vinyl flooring	130.90 SF
520. Vinyl floor covering (sheet goods)	150.54 SF
15 % waste added for Vinyl floor covering (sheet goods).	
521. Baseboard - 3 1/4"	45.83 LF
522. Mask and prep for paint - plastic, paper, tape (per LF)	45.83 LF
523. Paint the walls - two coats	366.67 SF
524. Paint acoustic ceiling (popcorn) texture - 1 coat	130.90 SF
525. Paint baseboard - two coats	45.83 LF
526. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
527. Outlet or switch cover	4.00 EA
528. Outlet	5.00 EA
529. Light fixture	1.00 EA
530. Smoke detector	1.00 EA
531. Rewire - average residence - copper wiring with conduit	130.90 SF
532. Final cleaning - construction - Residential	130.90 SF

NOTES:

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Ktichen

Height: 8'

253.33 SF Walls	85.17 SF Ceiling
338.50 SF Walls & Ceiling	85.17 SF Floor
9.46 SY Flooring	31.67 LF Floor Perimeter
31.67 LF Ceil. Perimeter	

Missing Wall

7' X 8'

Opens into HALLWAY

DESCRIPTION

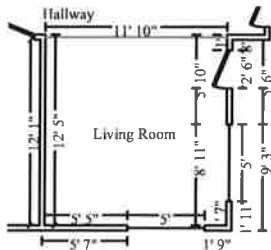
QTY

533. R&R Furring strip - 1" x 2" - applied to concrete	126.67 SF
534. R&R Reflective multi-layer foil insulation - R-7+	126.67 SF
535. Mask wall - plastic, paper, tape (per LF)	31.67 LF
536. 1/2" drywall - hung, taped, floated, ready for paint	253.33 SF
537. Drywall Installer / Finisher - per hour	8.00 HR
538. Cabinetry - lower (base) units	14.83 LF
539. Cabinetry - upper (wall) units	14.83 LF
540. Countertop - flat laid plastic laminate	14.10 LF
541. 4" backsplash for flat laid countertop	14.83 LF
542. Range - electric - Reset	1.00 EA
543. Install Range hood	1.00 EA
544. Install Sink - single	1.00 EA
545. Suspended ceiling grid - 2' x 2'	85.17 SF
546. Suspended ceiling tile - 2' x 2'	85.17 SF
547. Fluorescent - acoustic grid fixture - four tube, 2'x 4'	1.00 EA
548. Window blind - PVC - 3.5" - 32.1 to 42 SF	1.00 EA
549. Baseboard - 3 1/4"	8.00 LF
550. Outlet or switch cover	6.00 EA
551. Outlet	3.00 EA
552. Ground fault interrupter (GFI) outlet	3.00 EA
553. Mask and prep for paint - plastic, paper, tape (per LF)	31.67 LF
554. Paint the walls - two coats	253.33 SF
555. Paint baseboard - two coats	31.67 LF
556. Vinyl floor covering (sheet goods)	97.94 SF
15 % waste added for Vinyl floor covering (sheet goods).	
557. Rewire - average residence - copper wiring with conduit	85.17 SF
558. Final cleaning - construction - Residential	85.17 SF

CONTINUED - Kitchen

DESCRIPTION **QTY**

NOTES:



Living Room

Height: 8'

293.33 SF Walls	144.96 SF Ceiling
438.29 SF Walls & Ceiling	144.96 SF Floor
16.11 SY Flooring	36.67 LF Floor Perimeter
36.67 LF Ceil. Perimeter	

Missing Wall

11' 10" X 8'

Opens into HALLWAY

DESCRIPTION **QTY**

559. Floor protection - heavy paper and tape	144.96 SF
560. Mask wall - plastic, paper, tape (per LF)	36.67 LF
561. Furring strip - 1" x 2" - applied to concrete	146.67 SF
562. Reflective multi-layer foil insulation - R-7+	146.67 SF
563. 1/2" drywall - hung, taped, floated, ready for paint	438.29 SF
564. Drywall Installer / Finisher - per hour	8.00 HR
565. Blown-in insulation - 10" depth - R26	144.96 SF
566. Embossing leveler for vinyl flooring	144.96 SF
567. Vinyl floor covering (sheet goods)	166.70 SF
15 % waste added for Vinyl floor covering (sheet goods).	
568. Baseboard - 3 1/4"	36.67 LF
569. Mask and prep for paint - plastic, paper, tape (per LF)	36.67 LF
570. Paint the walls - two coats	293.33 SF
571. Paint acoustic ceiling (popcorn) texture - 1 coat	144.96 SF
572. Paint baseboard - two coats	36.67 LF
573. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
574. Outlet or switch cover	4.00 EA
575. Outlet	5.00 EA
576. Light fixture	1.00 EA

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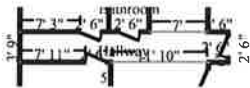
CONTINUED - Living Room

DESCRIPTION	QTY
577. Smoke detector	1.00 EA
578. Rewire - average residence - copper wiring with conduit	144.96 SF
579. Final cleaning - construction - Residential	144.96 SF

NOTES:

Hallway

Height: 8'



310.67 SF Walls	89.98 SF Ceiling
400.65 SF Walls & Ceiling	89.98 SF Floor
10.00 SY Flooring	38.83 LF Floor Perimeter
38.83 LF Ceil. Perimeter	

Missing Wall

11' 10" X 8'

Opens into LIVING_ROOM

Missing Wall

7' X 8'

Opens into KTICHEN

DESCRIPTION	QTY
580. Floor protection - heavy paper and tape	89.98 SF
581. Mask wall - plastic, paper, tape (per LF)	38.83 LF
582. 1/2" drywall - hung, taped, floated, ready for paint	400.65 SF
583. Drywall Installer / Finisher - per hour	8.00 HR
584. Blown-in insulation - 10" depth - R26	89.98 SF
585. Attic entrance cover and trim	1.00 EA
586. Casing - 3 1/4"	85.00 LF
587. Embossing leveler for vinyl flooring	89.98 SF
588. Vinyl floor covering (sheet goods)	103.48 SF
15 % waste added for Vinyl floor covering (sheet goods).	
589. Baseboard - 3 1/4"	38.83 LF
590. Mask and prep for paint - plastic, paper, tape (per LF)	38.83 LF
591. Paint the walls - two coats	310.67 SF
592. Paint acoustic ceiling (popcorn) texture - 1 coat	89.98 SF

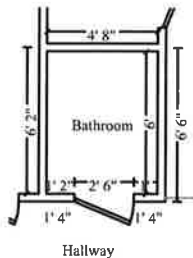
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CONTINUED - Hallway

DESCRIPTION	QTY
593. Paint baseboard - two coats	38.83 LF
594. Paint door/window trim & jamb - 2 coats (per side)	6.00 EA
595. Paint door slab only - 2 coats (per side)	6.00 EA
596. Smoke detector	1.00 EA
597. Outlet	2.00 EA
598. Switch	2.00 EA
599. Outlet or switch cover	2.00 EA
600. Light fixture	1.00 EA
601. R&R Wall heater	1.00 EA
602. Rewire - average residence - copper wiring with conduit	89.98 SF
603. Final cleaning - construction - Residential	89.98 SF

NOTES:



Bathroom

Height: 8'

170.67 SF Walls	28.00 SF Ceiling
198.67 SF Walls & Ceiling	28.00 SF Floor
3.11 SY Flooring	21.33 LF Floor Perimeter
21.33 LF Ceil. Perimeter	

DESCRIPTION

QTY

604. Floor protection - heavy paper and tape	28.00 SF
605. Mask wall - plastic, paper, tape (per LF)	21.33 LF
606. Furring strip - 1" x 2" - applied to concrete	42.67 SF
607. Reflective multi-layer foil insulation - R-7+	42.67 SF
608. 1/2" drywall - hung, taped, floated, ready for paint	114.67 SF
609. Drywall Installer / Finisher - per hour	6.00 HR
610. Blown-in insulation - 10" depth - R26	28.00 SF
611. Mask and prep for paint - plastic, paper, tape (per LF)	21.33 LF

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CONTINUED - Bathroom

DESCRIPTION	QTY
612. Paint the walls and ceiling - two coats	198.67 SF
613. Outlet or switch cover	2.00 EA
614. Exhaust fan	1.00 EA
615. Light fixture	1.00 EA
616. Switch	1.00 EA
617. Ground fault interrupter (GFI) outlet	1.00 EA
618. Toilet	1.00 EA
619. Rewire - average residence - copper wiring with conduit	28.00 SF
620. Bathtub	1.00 EA
621. 1/2" Cement board	84.00 SF
622. Tile tub surround - 60 to 75 SF	1.00 EA
623. Tile floor covering	28.00 SF
624. Tile base	21.33 LF
625. Sink - single bowl - Detach	1.00 EA
626. Vanity	2.00 LF
627. Vanity top - one sink - cultured marble	2.00 LF
628. P-trap assembly - ABS (plastic)	1.00 EA
629. Plumbing fixture supply line	1.00 EA
630. Final cleaning - construction - Residential	28.00 SF

NOTES:



Bedroom 2

Height: 8'

361.33 SF Walls	127.00 SF Ceiling
488.33 SF Walls & Ceiling	127.00 SF Floor
14.11 SY Flooring	45.17 LF Floor Perimeter
45.17 LF Ceil. Perimeter	

DESCRIPTION

QTY

CONTINUED - Bedroom 2

DESCRIPTION	QTY
631. Floor protection - heavy paper and tape	127.00 SF
632. Mask wall - plastic, paper, tape (per LF)	45.17 LF
633. Furring strip - 1" x 2" - applied to concrete	180.67 SF
634. Reflective multi-layer foil insulation - R-7+	180.67 SF
635. 1/2" drywall - hung, taped, floated, ready for paint	488.33 SF
636. Drywall Installer / Finisher - per hour	8.00 HR
637. Blown-in insulation - 10" depth - R26	127.00 SF
638. Embossing leveler for vinyl flooring	127.00 SF
639. Vinyl floor covering (sheet goods)	146.05 SF
15 % waste added for Vinyl floor covering (sheet goods).	
640. Baseboard - 3 1/4"	45.17 LF
641. Mask and prep for paint - plastic, paper, tape (per LF)	45.17 LF
642. Paint the walls - two coats	361.33 SF
643. Paint acoustic ceiling (popcorn) texture - 1 coat	127.00 SF
644. Paint baseboard - two coats	45.17 LF
645. R&R Aluminum window, single hung 9-12 sf (2 pane)	1.00 EA
646. Outlet or switch cover	4.00 EA
647. Outlet	5.00 EA
648. Light fixture	1.00 EA
649. Smoke detector	1.00 EA
650. Rewire - average residence - copper wiring with conduit	127.00 SF
651. Final cleaning - construction - Residential	127.00 SF

NOTES:

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Grand Total Areas:

7,685.33 SF Walls	2,529.81 SF Ceiling	10,215.14 SF Walls and Ceiling
2,529.81 SF Floor	281.09 SY Flooring	960.67 LF Floor Perimeter
0.00 SF Long Wall	0.00 SF Short Wall	960.67 LF Ceil. Perimeter
2,529.81 Floor Area	2,764.92 Total Area	7,685.33 Interior Wall Area
4,168.00 Exterior Wall Area	439.33 Exterior Perimeter of Walls	
5,536.14 Surface Area	55.36 Number of Squares	354.00 Total Perimeter Length
136.42 Total Ridge Length	0.00 Total Hip Length	

NON-COLLUSION CERTIFICATION
IFB2021-01
STRUCTURAL REPAIRS AND REPLACEMENT CONSTRUCTION AT
CECIL GOBER VILLAS APARTMENTS UNIT#19-20-21-22

The undersigned states that he/she is fully authorized by the entity indicated below to certify that:

- That this proposal is made without collusion or fraud with any other person, firm, or corporation making a proposal for the same purpose.
- That no officer or employee or person whose salary is paid, in whole or in part, from the Housing Authority of the City of Lakeland is, shall be, or will become interested, directly or indirectly, surety or otherwise: in this proposal; in the performance of the contract; in the supplies, materials, equipment, and services or labor to which they relate; or in any portion of the profits thereof.

By signing this form, the undersigned affirms that said proposal is, in all respects, fair and without collusion or fraud.

Name of Entity: _____

Authorized Signature/Date: _____

Printed Name of Signer: _____

Title of Signer: _____

Corporate Seal, *if appropriate*

Note: Failure to complete and submit this statement as presented may result in the proposal being rejected.

PUBLIC ENTITY CRIMES STATEMENT

By signing this form, the *Bidder* certifies that it is not currently debarred, suspended, or excluded from or for participation in Federal assistance programs in accordance with: Executive Order 12549, Debarment and Suspension, 45 CFR 1183.35; HUD regulations, 24 CFR 24; or by other federal agencies.

The *Bidder* also certifies that it is in compliance with Section 287.133, Florida Statutes, as it relates to Public Entity crimes. More specifically, the *Bidder* certifies that it acknowledges and it is in compliance with the following:

A person or an affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not submit a bid, proposal, or reply on a contract to provide any goods or services to a public entity; may not submit a bid, proposal, or reply on a contract with a public entity for the construction or repair of a public building or public work; may not submit bids, proposals, or replies on leases of real property to a public entity; may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity; and may not transact business with any public entity in excess of the threshold amount provided in Section [287.017](#), F.S. for CATEGORY TWO for a period of 36 months following the date of being placed on the convicted vendor list.

Name of Entity: _____

Authorized Signature/Date: _____

Printed Name of Signer: _____

Title of Signer: _____

Corporate Seal, *if appropriate*

Note: Failure to complete this statement as presented may result in the bid or proposal being rejected.

Certifications and Representations of Offerors

Non-Construction Contract

U.S. Department of Housing and Urban Development
Office of Public and Indian Housing

Public reporting burden for this collection of information is estimated to average 5 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information.

This form includes clauses required by OMB's common rule on bidding/offering procedures, implemented by HUD in 24 CFR 85.36, and those requirements set forth in Executive Order 11625 for small, minority, women-owned businesses, and certifications for independent price determination, and conflict of interest. The form is required for nonconstruction contracts awarded by Housing Agencies (HAs). The form is used by bidders/offerors to certify to the HA's Contracting Officer for contract compliance. If the form were not used, HAs would be unable to enforce their contracts. Responses to the collection of information are required to obtain a benefit or to retain a benefit. The information requested does not lend itself to confidentiality.

1. Contingent Fee Representation and Agreement

(a) The bidder/offeror represents and certifies as part of its bid/offer that, except for full-time bona fide employees working solely for the bidder/offeror, the bidder/offeror:

- (1) has, has not employed or retained any person or company to solicit or obtain this contract; and
- (2) has, has not paid or agreed to pay to any person or company employed or retained to solicit or obtain this contract any commission, percentage, brokerage, or other fee contingent upon or resulting from the award of this contract.

(b) If the answer to either (a)(1) or (a) (2) above is affirmative, the bidder/offeror shall make an immediate and full written disclosure to the PHA Contracting Officer.

(c) Any misrepresentation by the bidder/offeror shall give the PHA the right to (1) terminate the resultant contract; (2) at its discretion, to deduct from contract payments the amount of any commission, percentage, brokerage, or other contingent fee; or (3) take other remedy pursuant to the contract.

2. Small, Minority, Women-Owned Business Concern Representation

The bidder/offeror represents and certifies as part of its bid/offer that it:

- (a) is, is not a small business concern. "Small business concern," as used in this provision, means a concern, including its affiliates, that is independently owned and operated, not dominant in the field of operation in which it is bidding, and qualified as a small business under the criteria and size standards in 13 CFR 121.
- (b) is, is not a women-owned small business concern. "Women-owned," as used in this provision, means a small business that is at least 51 percent owned by a woman or women who are U.S. citizens and who also control and operate the business.
- (c) is, is not a minority enterprise which, pursuant to Executive Order 11625, is defined as a business which is at least 51 percent owned by one or more minority group members or, in the case of a publicly owned business, at least 51 percent of its voting stock is owned by one or more minority group members, and whose management and daily operations are controlled by one or more such individuals.

For the purpose of this definition, minority group members are:
(Check the block applicable to you)

- | | |
|---|---|
| <input type="checkbox"/> Black Americans | <input type="checkbox"/> Asian Pacific Americans |
| <input type="checkbox"/> Hispanic Americans | <input type="checkbox"/> Asian Indian Americans |
| <input type="checkbox"/> Native Americans | <input type="checkbox"/> Hasidic Jewish Americans |

3. Certificate of Independent Price Determination

(a) The bidder/offeror certifies that—

- (1) The prices in this bid/offer have been arrived at independently, without, for the purpose of restricting competition, any consultation, communication, or agreement with any other bidder/offeror or competitor relating to (i) those prices, (ii) the intention to submit a bid/offer, or (iii) the methods or factors used to calculate the prices offered;
- (2) The prices in this bid/offer have not been and will not be knowingly disclosed by the bidder/offeror, directly or indirectly, to any other bidder/offeror or competitor before bid opening (in the case of a sealed bid solicitation) or contract award (in the case of a negotiated solicitation) unless otherwise required by law; and
- (3) No attempt has been made or will be made by the bidder/offeror to induce any other concern to submit or not to submit a bid/offer for the purpose of restricting competition.

(b) Each signature on the bid/offer is considered to be a certification by the signatory that the signatory:

- (1) Is the person in the bidder/offeror's organization responsible for determining the prices being offered in this bid or proposal, and that the signatory has not participated and will not participate in any action contrary to subparagraphs (a)(1) through (a)(3) above; or
- (2) (i) Has been authorized, in writing, to act as agent for the following principals in certifying that those principals have not participated, and will not participate in any action contrary to subparagraphs (a)(1) through (a)(3) above (insert full name of person(s) in the bidder/offeror's organization responsible for determining the prices offered in this bid or proposal, and the title of his or her position in the bidder/offeror's organization);
(ii) As an authorized agent, does certify that the principals named in subdivision (b)(2)(i) above have not participated, and will not participate, in any action contrary to subparagraphs (a)(1) through (a)(3) above; and

-
- (iii) As an agent, has not personally participated, and will not participate in any action contrary to subparagraphs (a)(1) through (a)(3) above.
 - (c) If the bidder/offeror deletes or modifies subparagraph (a)2 above, the bidder/offeror must furnish with its bid/offer a signed statement setting forth in detail the circumstances of the disclosure.

4. Organizational Conflicts of Interest Certification

- (a) The Contractor warrants that to the best of its knowledge and belief and except as otherwise disclosed, it does not have any organizational conflict of interest which is defined as a situation in which the nature of work under a proposed contract and a prospective contractor's organizational, financial, contractual or other interest are such that:
 - (i) Award of the contract may result in an unfair competitive advantage;
 - (ii) The Contractor's objectivity in performing the contract work may be impaired; or
 - (iii) That the Contractor has disclosed all relevant information and requested the HA to make a determination with respect to this Contract.
- (b) The Contractor agrees that if after award he or she discovers an organizational conflict of interest with respect to this contract, he or she shall make an immediate and full disclosure in writing to the HA which shall include a description of the action which the Contractor has taken or intends to eliminate or neutralize the conflict. The HA may, however, terminate the Contract for the convenience of HA if it would be in the best interest of HA.
- (c) In the event the Contractor was aware of an organizational conflict of interest before the award of this Contract and intentionally did not disclose the conflict to the HA, the HA may terminate the Contract for default.
- (d) The Contractor shall require a disclosure or representation from subcontractors and consultants who may be in a position to influence the advice or assistance rendered to the HA and shall include any necessary provisions to eliminate or neutralize conflicts of interest in consultant agreements or subcontracts involving performance or work under this Contract.

5. Authorized Negotiators (RFPs only)

The offeror represents that the following persons are authorized to negotiate on its behalf with the PHA in connection with this request for proposals: (list names, titles, and telephone numbers of the authorized negotiators):

6. Conflict of Interest

In the absence of any actual or apparent conflict, the offeror, by submission of a proposal, hereby warrants that to the best of its knowledge and belief, no actual or apparent conflict of interest exists with regard to my possible performance of this procurement, as described in the clause in this solicitation titled "Organizational Conflict of Interest."

7. Offeror's Signature

The offeror hereby certifies that the information contained in these certifications and representations is accurate, complete, and current.

Signature & Date:

Typed or Printed Name:

Title:

Certification for a Drug-Free Workplace

U.S. Department of Housing and Urban Development

Applicant Name

Program/Activity Receiving Federal Grant Funding

Acting on behalf of the above named Applicant as its Authorized Official, I make the following certifications and agreements to the Department of Housing and Urban Development (HUD) regarding the sites listed below:

I certify that the above named Applicant will or will continue to provide a drug-free workplace by:

a. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the Applicant's workplace and specifying the actions that will be taken against employees for violation of such prohibition.

b. Establishing an on-going drug-free awareness program to inform employees ---

(1) The dangers of drug abuse in the workplace;

(2) The Applicant's policy of maintaining a drug-free workplace;

(3) Any available drug counseling, rehabilitation, and employee assistance programs; and

(4) The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace.

c. Making it a requirement that each employee to be engaged in the performance of the grant be given a copy of the statement required by paragraph a.;

d. Notifying the employee in the statement required by paragraph a. that, as a condition of employment under the grant, the employee will ---

(1) Abide by the terms of the statement; and

(2) Notify the employer in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;

e. Notifying the agency in writing, within ten calendar days after receiving notice under subparagraph d.(2) from an employee or otherwise receiving actual notice of such conviction. Employers of convicted employees must provide notice, including position title, to every grant officer or other designee on whose grant activity the convicted employee was working, unless the Federal agency has designated a central point for the receipt of such notices. Notice shall include the identification number(s) of each affected grant;

f. Taking one of the following actions, within 30 calendar days of receiving notice under subparagraph d.(2), with respect to any employee who is so convicted ---

(1) Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, as amended; or

(2) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;

g. Making a good faith effort to continue to maintain a drug-free workplace through implementation of paragraphs a. thru f.

2. Sites for Work Performance. The Applicant shall list (on separate pages) the site(s) for the performance of work done in connection with the HUD funding of the program/activity shown above: Place of Performance shall include the street address, city, county, State, and zip code. Identify each sheet with the Applicant name and address and the program/activity receiving grant funding.)

Check here if there are workplaces on file that are not identified on the attached sheets.

I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate.
Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties.
 (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Name of Authorized Official	Title
Signature	Date
X	

Section 3 Clause

F. Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

G. with respect to work performed in connection with section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

The Housing Authority of the City of Lakeland	SECTION 3 BUSINESS FORM
Company Name:	Employer (IRS) No:
Address:	Type of Business: <input type="checkbox"/> Minority - Owned Business <input type="checkbox"/> Women - Owned Business
<p>THE CONTRACTOR REPRESENTS AND CERTIFIES AS PART OF ITS OFFER THAT IT: IS A SECTION 3 BUSINESS CONCERN (ATTACHED FOR CERTIFICATION)</p> <p><input type="checkbox"/> 51% or more owned by Section 3 residents <input type="checkbox"/> 30% of your permanent, full time workforce composed of current Section 3 residents <input type="checkbox"/> 30% of your permanent, full time workforce employees who, within 3 years employment with your business were Section 3 residents</p> <p><input type="checkbox"/> IS NOT A SECTION 3 BUSINESS CONCERN BUT WHO HAS AND WILL CONTINUE TO SEEK COMPLIANCE WITH SECTION 3 BY CERTIFYING THE ATTACHED FORM, STATING EFFORTS TO AWARD SUBCONTRACTORS TO SECTION 3 CONCERNS.</p>	

BACKGROUND:

Section 3 of the Housing and Community Development Act of 1968, as amended, requires that when employment or contract opportunities area generated because a project or activity undertaken by recipient of HUD financial assistance necessitated the employment of additional personnel through individual hiring or the awarding of contracts for work, the recipient must give preference in hiring low and very low-income persons. Section 3 requires that recipients not only include low and very low persons in their recruitment and solicitation efforts, but that in fact, extra or great efforts be undertaken to make these persons aware of the existence of economics opportunities, encourage their application for these opportunities, and facilitate the employment of, or award of contracts to these persons.

Section 3 covered assistance means:

- Public and Indian Housing Operating Assistance
- Public and Indian Housing Modernization Assistance;
- Assistance provided under any HUD Housing or Community Development program that is expended for work arising in connection with Housing rehabilitation, Housing construction, and other public construction (including other buildings or improvements, regardless of ownership)

A Section 3 resident is defined as: who is:

(a) A Public Housing Resident

(b) An individual who resides in the Metropolitan Area and

FY 2020 Income Limit Area	Median Family Income Explanation	FY 2020 Income Limit Category	Persons in Family							
			1	2	3	4	5	6	7	8
Lakeland-Winter Haven, FL MSA	\$58,800	Very Low (50%) Income Limits (\$)								
		Explanation	20,600	23,550	26,500	29,400	31,800	34,150	36,500	38,850
		Extremely Low Income Limits (\$)*								
		Explanation	12,760	17,240	21,720	26,200	30,680	34,150*	36,500*	38,850*
		Low (80%) Income Limits (\$)								
		Explanation	32,950	37,650	42,350	47,050	50,850	54,600	58,350	62,150

NOTE: Polk County is part of the **Lakeland-Winter Haven, FL MSA**, so all information presented here applies to all of the **Lakeland-Winter Haven, FL MSA**.
The **Lakeland-Winter Haven, FL MSA** contains the following areas: Polk County, FL;

I hereby certify to the best of my knowledge and belief that the information provided in this document is true and correct.

Name of Authorized Official

Signature of Authorized Official and Date